



CITY COUNCIL Agenda

520 E. Cascade Avenue - PO Box 39 - Sisters, Or 97759 | ph.: (541) 549-6022 | www.ci.sisters.or.us

Wednesday, July 10, 2024

This City Council meeting is accessible to the public in person in the Council Chambers at 520 E. Cascade Avenue, Sisters, OR 97759

This meeting is open to the public and can be accessed and attended in person or remotely. Members of the public may view the meeting via Zoom at the link below:

<https://us02web.zoom.us/j/86216826151>

Visitor Communication: To offer written comments, send an email to recorder@ci.sisters.or.us no later than 3:00 p.m. on the day of the meeting. If attending the meeting via Zoom and wish to speak, submit your name, address, phone number, and the topic you intend to address to recorder@ci.sisters.or.us by 3:00 p.m. on the meeting day. For those attending the meeting in person, you may complete a request to speak form on-site.

5:30 PM WORKSHOP

1. Update on Emergency Management & Preparedness
2. East Portal 90% Design Review
3. Central Oregon Civic Action Project - Civic Assembly
4. Other Business

6:30 PM CITY COUNCIL REGULAR MEETING

1. CALL TO ORDER/PLEDGE OF ALLEGIANCE

2. ROLL CALL

3. APPROVAL OF AGENDA

4. VISITOR COMMUNICATION

5. CONSENT AGENDA

A. Minutes

1. June 26, 2024 – Workshop
2. June 26, 2024 – Regular Meeting

B. Approve an Affordable Housing Grant Letter for Sisters Habitat for Humanity Adams Common Housing Project and Authorize the City Manager to Execute the Letter.

This agenda is also available via the Internet at www.ci.sisters.or.us

6. **COUNCIL BUSINESS**

A. Public Hearing and Consideration of Ordinance 538: AN ORDINANCE OF CITY OF SISTERS AMENDING SISTERS DEVELOPMENT CODE CHAPTER 2.12, SUN RANCH TOURIST COMMERCIAL DISTRICT, THAT EXPANDS AND CLARIFIES THE TYPES OF ALLOWED USES AND APPLICABLE DEVELOPMENT STANDARDS.

B. Discussion and Consideration of a Motion to Award a Construction Contract for the 2024 McKinney Butte Safety Improvements and Authorize the City Manager to Execute the Contract.

7. **OTHER BUSINESS**

A. Staff Comments

8. **MAYOR/COUNCILOR BUSINESS**

9. **ADJOURN**

Pursuant to ORS 192.640, this agenda includes a list of the principal subjects anticipated to be considered at the above-referenced meeting; however, the agenda does not limit the ability of the Council to consider or discuss additional subjects. This meeting is subject to cancellation without notice.

This meeting is open to the public, and interested citizens are invited to attend. This is an open meeting under Oregon Revised Statutes, not a community forum; audience participation is at the discretion of the Council. The meeting may be recorded. The meeting location is accessible to persons with disabilities. A request for an interpreter for the hearing impaired or for other accommodations for persons with disabilities should be made to the City Recorder at least forty-eighty (48) hours in advance of the meeting.

Executive Sessions are not open to the public; however, members of the press are invited to attend.

The City of Sisters is an Equal Opportunity Provider



CITY COUNCIL Staff Report

Meeting Date: July 10, 2024
Type: Workshop

Presenter: Sgt. Nathan Garibay, DCSO
Dept: Administration

Subject: Emergency Management & Preparedness

Action Requested: Receive an update from Sgt. Nathan Garibay of Deschutes County Sheriff's Office (DCSO) on Emergency management and preparedness.

Background:

Emergency Management is a critical function housed within the Special Services Division of the DCSO. It utilizes a comprehensive approach focused on minimizing the effects of both natural and human-caused emergencies across the county.

The team's responsibilities include: identifying hazards, developing emergency and mitigation plans, coordinating the response to incidents, and providing ongoing training for personnel involved in managing emergencies.

Collaboration is central to their approach, as they work with cities, special districts, community organizations, and regional partners to promote emergency preparedness and improve incident response.

More information about DCSO Emergency Management can be found at:
<https://sheriff.deschutes.org/divisions/special-services/emergency-management/>

Financial Impact: None

Attachments: None.



Meeting Date: July 10, 2024
Type: Workshop

Staff: P. Bertagna
Dept: Public Works

Subject: East Portal Mobility Hub 90% Design Review

Action Requested: Provide feedback to staff on the East Portal Mobility Hub 90% design

Summary Points:

- The City contracted with Kittelson & Associates to develop the 100% design and bid documents for a multi-modal transportation hub on the East Portal site. The project began in July of 2023 with the consultant/staff developing design criteria that would be used for developing the 100% design.
- A preferred concept was developed during the Master Planning phase which was used to start the development of the final design. This concept was further developed to try to minimize impacts to the existing timber stand, especially the old growth ponderosas. Doing this decreased the number of trees to be removed by eleven significant trees.
- The biggest change from the preferred concept is the design of the RV dump station. Staff worked with the consultant to site the dump station where it would not affect any old growth trees and provides enough staging space for (4 to 5) 30-40' RV's. Including the dump station in this project will provide better service to the traveling public as well as help relieve pressure on the Creekside Campground.
- Through the Phase I design process it made sense to combine Master Plan Phases I & II for construction efficiencies. Decreasing the mobilization, traffic control, tree protection, erosion control and staging cost redundancies reduced the cost estimate by over \$100,000.
- Staff was also able to decrease the overall Master Plan Phase I & II cost estimates by approximately \$750,000 by decreasing the hardscape footprint, reducing curbing, utilizing asphalt paths over concrete, maximizing existing topography for stormwater and working with Cascade East Transit to provide the bus shelters.
- The current 90% cost estimate for Phase I is \$1.205 million with a 15% contingency. We are planning on including a portion of Phase III (McKenzie improvements which includes the EV Charger parking area) as a bid alternate that we can include in the project if bids come in lower than estimated.
- There is currently \$880,000 in State Transportation Improvement Fund (STIF) funding available to us now for construction. Staff will be applying for any necessary construction gap funding this fall through the 2025/26 STIF funding cycle.
- The Public Engagement design process included (2) meetings with the Public Works Advisory Board (PWAB), (1) meeting with the Urban Forestry Board (UFB) to solicit design feedback. PWAB and the UFB at their June meetings recommended design approval to Council.



- Once staff has all the feedback and input from Council, staff will further refine the Phase I design, finalize construction specifications to get the bid package ready to let this fall with a winter/spring 2025 construction timeframe.

Financial Impact: \$100,000 was budgeted for the design in the FY 23/24 Street Fund and \$880,000 is budgeted for construction in the FY 24/25 Street Fund. Additional construction funding, if needed, will be applied for through the 24/25 STIF cycle and included in the project through a Supplemental Budget.

Attachments:

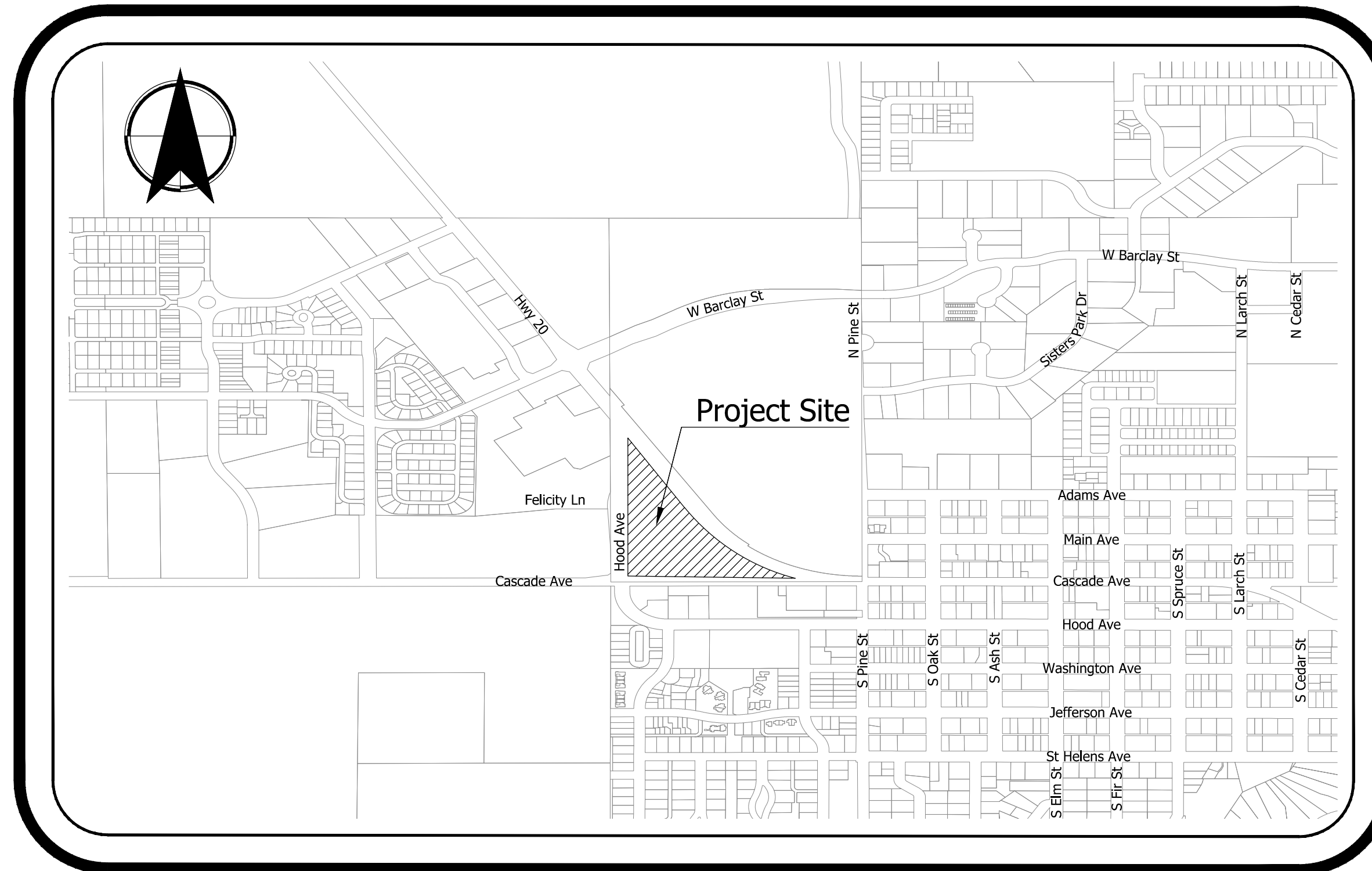
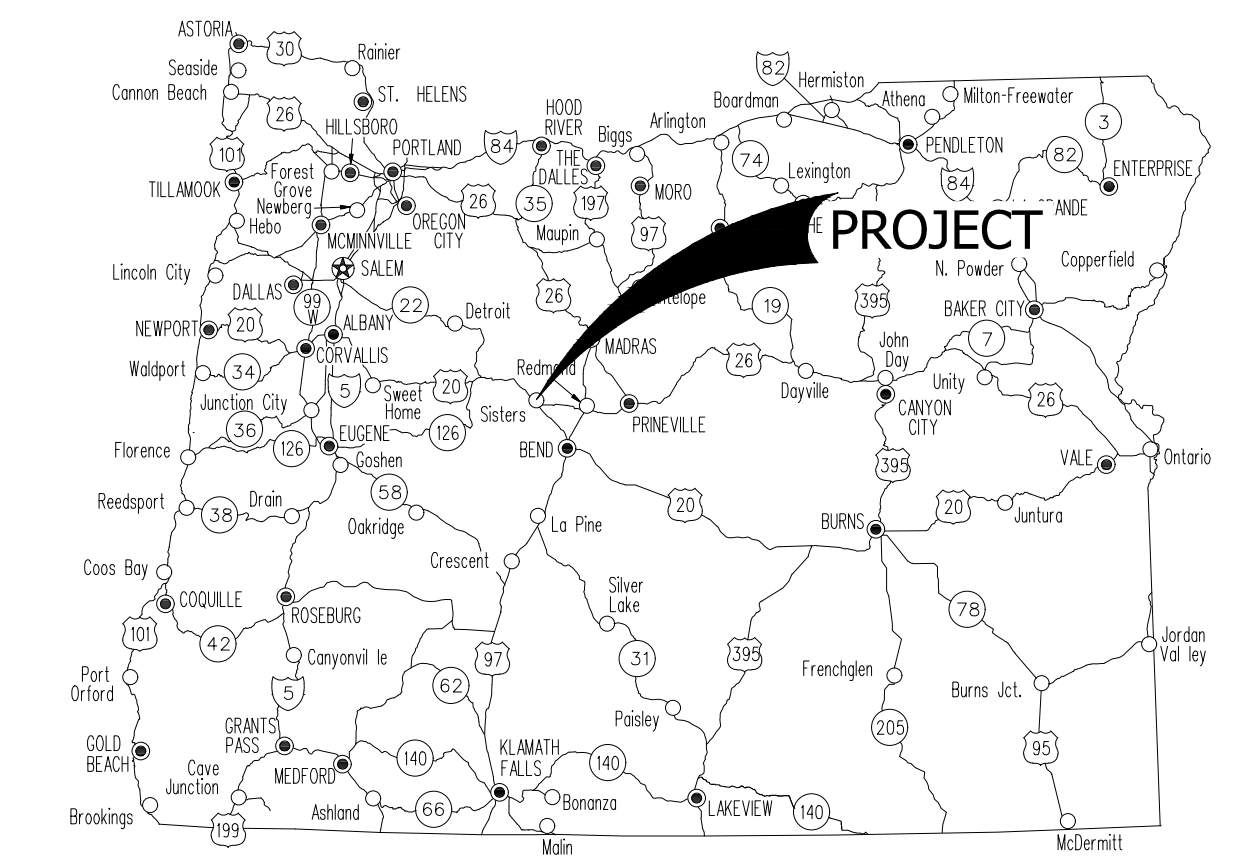
1. **ATTACHMENT 1:** Mobility Hub 90% design
2. **ATTACHMENT 2:** East Portal Presentation

East Portal Mobility Hub Improvements

GRADING, DRAINAGE, PAVING, SIGNING,
STRIPING, AND ROADSIDE DEVELOPMENT

PREPARED FOR:
City of Sisters

June 2024



VICINITY MAP

SCALE: NTS

DATUMS:

Oregon Coordinate Reference System
Bend-Redmond-Prineville Zone
Lambert Conformal Conic Projection (Single Parallel)
North American Datum of 1983
Standard Parallel & Grid Origin: 44° 40' 00" N
Central Meridian: 121° 15' 00" W
False Northing: 130 000.000 m
False Easting: 80 000.000 m
Standard Parallel Scale: 1.00 120 (Exact)

UTILITY NOTIFICATION:

ATTENTION: Oregon Law Requires You To Follow Rules Adopted By The Oregon Utility Notification Center. Those Rules Are Set Forth In OAR 952-001-0010 Through 952-001-0090. You May Obtain Copies Of The Rules By Calling The Center. (Note: The Telephone Number For The Oregon Utility Notification Center Is (503) 232-1987.)

This Design Complies With ORS 92.044 (7) In That No Utility Infrastructure Is Designed To Be Within One Foot Of A Survey Monument Location Shown On A Subdivision Or Partition Plat. No Design Modification Nor Final Field Location Change Shall Be Permitted If It Would Cause Any Utility Infrastructure To Be Placed Within The Prohibited Area.

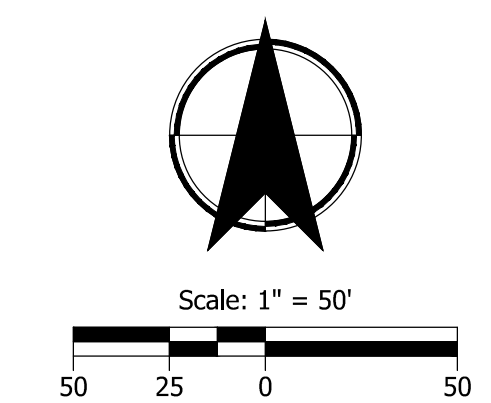
PROJECT CONTACTS

OWNER
City of Sisters
CONTACT: Paul Bertagna
ADDRESS: 520 E Cascade Avenue
Sisters, OR 97759
PHONE: 541.323.5212
EMAIL: pbertagna@ci.sisters.or.us

ENGINEER
KITTELSON & ASSOCIATES, INC.
CONTACT: Russell Montgomery, P.E.
ADDRESS: 851 SW 6th Avenue, Suite 600
Portland, OR 97204
PHONE: 503.535.7511
EMAIL: rmontgomery@kittelson.com

SURVEYOR
BECON CIVIL ENGINEERING & LAND SURVEYING
CONTACT: Erick Huffman, P.E., P.L.S
ADDRESS: 549 SW Mill View Way, Suite 100
Bend, OR 97702
PHONE: 541.633.3140
EMAIL: ehuffman@beconeng.com

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C2.4	Dimension Site Plan - W. Hood Ave
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L1.3	Illumination Plan
L1.4	Illumination Plan
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REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

DESIGN	RPM
DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024

SCALE AS SHOWN

DRAWING NAME

Cover Sheet

EAST PORTAL MOBILITY HUB IMPROVEMENTS

SHEET

C0.0

GENERAL NOTES

- All construction and materials shall conform to these plans, the project specifications and the applicable requirements of the 2023 Oregon Standard Specifications, 2017 Oregon Plumbing Specialty Code and requirements of the City of Sisters.
- The completed installation shall conform to all applicable federal, state, and local codes, ordinances and regulations. All permits, licenses and inspections required by the governing authorities for the execution and completion of work shall be secured by the Contractor prior to commencing construction.
- Attention: Oregon law requires you to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0010 through OAR 952-001-0090. You may obtain copies of the rules by calling the center. (Note: The telephone number for the Oregon Utility Notification Center is (503) 232-1987). Excavators must notify all pertinent companies or agencies with underground utilities in the project area at least 48 business-day hours, but not more than 10 business days prior to commencing an excavation, so utilities may be accurately located.
- The Contractor shall pothole and verify locations, elevations, types and sizes of all existing utilities prior to constructing new piping far enough in advance to allow necessary adjustments in grade and shall notify Engineer of need to adjust piping installation accordingly. Potholing shall sufficiently precede laying of pipe to allow required elevation adjustments to be accomplished without rework. Elevation adjustments shall be expected and are incidental to the work. Deflect pipe as required and within manufacturer's tolerances to avoid existing utilities and complete tie-ins.
- The location of existing underground utilities shown on the plans are for information only and are not guaranteed to be complete or accurate. Contractor shall verify elevations, pipe size, and material types of all underground utilities prior to commencing with construction and shall bring any discrepancies to the attention of the Engineer, 72 hours prior to start of construction to prevent grade and alignment conflicts.
- The Engineer or owner is not responsible for the safety of the Contractor or his crew. All OSHA regulations shall be strictly adhered to in the performance of the work. Contractor to notify City 72 hours prior to cutting any waterlines.
- Temporary and permanent erosion control measures shall be implemented. The Contractor shall adhere to the requirements of the City of Sisters for minimum erosion control measures. The ESC facilities shown in these plans are the minimum requirements for anticipated site conditions. During the construction period, ESC facilities shall be upgraded as needed for unexpected storm events and to ensure that sediment and sediment laden water do not leave the site.
- The Contractor is responsible for maintaining all roadways, keeping them clean and free of construction materials and debris, and providing dust control as required.
- Contractor shall maintain all driveways, utilities and services at all times during construction, unless otherwise approved by the City of Sisters.
- The Contractor shall be responsible for coordinating and scheduling all work with the City of Sisters.
- Notify the City of Sisters's inspector 72 hours before starting work. A preconstruction meeting with the City of Sisters and the Contractor's representative shall be required.
- Protect freshly poured concrete curbs and sidewalk from vandalism or other damage for a minimum of twenty-four (24) hours or until cured enough to support typical use, whichever is longer. Any curb or sidewalk damaged by vandalism or other causes shall be replaced at no cost to the City.

MATERIAL NOTES

- Materials shall be new. The use of manufacturer's names, models, and numbers is required and intended to establish style, quality, appearance, and usefulness. Proposed substitutions will require written approval from the City of Newberg prior to installation.
- Storm sewer pipe shall be ASTM D3034 PVC (SDR35), ASTM F679 (PS46), AWWA C900, or AWWA C905 pipe conforming to the project specifications. Where pipe materials are specifically indicated in the plans, alternative materials will not be allowed.
- Public water mains shall be restrained ductile iron, Class 52, conforming to the project specifications and the latest revision of ANSI/AWWA C151/A21.51.
- Private water lines 2-inch diameter and smaller shall be Type K copper tubing conforming to the project specifications. When a corrosive potential condition is encountered and the copper service passes over or under an active cathodic protection system, the service shall be installed in a Schedule 40 PVC conduit for a distance of 10-feet on each side of the active system. All conduit placements must be provided with as-built records.
- Concrete for curbs, sidewalk and driveways shall have a minimum compressive strength of 3,300 psi at 28 days.

CONSTRUCTION NOTES

DEMOLITION

- The Contractor shall be responsible for demolition and disposal of existing AC, curbs, sidewalks and other site elements within the site area to allow for execution of work.
- Except for materials indicated to be stockpiled or to remain the property of the City of Sisters, cleared materials shall become Contractor's property, removed from the site, and disposed of properly.
- Items indicated to be salvaged shall be carefully removed and delivered or stored at the project site as directed by the City of Sisters.
- All landscaping, pavement, curbs and sidewalks, beyond the identified site area, damaged during the construction shall be replaced to their original condition or better at no additional cost to the City.
- Concrete sidewalks shown for demolition shall be removed to the nearest existing construction joint.
- Sawcut straight matchlines to create a butt joint between the existing and new pavement. All cuts through asphalt or concrete shall be vertical sawcuts before asphalt or concrete is restored.

UTILITIES

- Adjust all incidental structures, manholes, valve boxes, catch basins, frames and covers, et cetera to finished grade.
- Contractor shall adjust all existing and/or new flexible utilities (water, gas, TV, telephone, electric, et cetera) to clear any existing or new gravity drain utilities (storm drain, sanitary sewer, et cetera) if conflict occurs.
- Contractor shall coordinate with private utility companies for the installation or relocation of gas, electrical, power and telephone service as necessary to construct the project.
- The City of Sisters shall inspect and approve any subgrade for utility improvements before backfilling is allowed. Contractor shall verify and record measurements of exact location and depth before backfilling improvements and submit documentation to the City of Sisters.

SIDEWALK RAMP GENERAL NOTES

- Contractor shall be responsible for meeting all Americans with Disabilities (ADA) requirements as defined by the Public Rights-of-Way Accessibility Guidelines (PROWAG). Contractor shall take all necessary field measurements and otherwise verify all dimensions to meet ADA requirements. Should any error or inconsistency exist, the Contractor shall not proceed with the work affected until reported to the Engineer for clarification or correction.
- Complete sidewalk construction prior to paving AC wearing course.
- The maximum closure time for any single curb ramp shall be one week. Submit traffic control plan and pedestrian detour plan for ramp closures. Plan shall include but is not limited to work area protection, sidewalk closures and detours.
- Formwork for ADA ramps must be inspected prior to pouring concrete. Notify Engineer a minimum of 24 hours prior to forms being ready to schedule pre pour inspection.

TRAFFIC CONTROL NOTES

- Traffic control/detour plans shall be prepared by the contractor. The initial traffic control plan must be approved by the City prior to the pre-construction conference.
- The Contractor shall provide temporary protection and direction of traffic in accordance with the Manual of Uniform Traffic Control Devices (MUTCD), Oregon Department of Transportation (ODOT) standard drawings, Oregon Standard Specifications for Construction (OSSC), and contract Special Provisions.
- Use temporary pavement markers, barriers, barricades, and signs as required to safely detour pedestrian and vehicular traffic around construction. Label type and location for all items on traffic control plans.
- Appropriate methods of pedestrian and vehicular traffic control, including flaggers, shall be employed by the Contractor to the extent deemed necessary by the traffic control supervisor and as approved by the City and the Engineer to protect workers or third parties and safely accommodate traffic through the work zone.
- The Contractor shall coordinate access to driveways with property owners. Access to roadway approaches within the project limits shall be maintained at all times. Traffic plates shall be used, and secured in a manner acceptable to the City, across all trenches blocking driveways to provide access at all times. At no time shall Contractors detain or delay emergency vehicles.
- The Contractor shall coordinate access for services including, but not limited to, mail delivery, trash pickup, school transportation, and any other special transportation services that exist within the project area.
- Existing signs that conflict with construction signing shall be covered or removed during construction and replaced after construction.
- Grade changes within the traveled lane or a grade change of more than 1-inch will require temporary hot mix asphalt concrete ramp with paper or sand joints as needed.
- The Contractor shall provide safe, stable, and accessible access to all driveway and pedestrian paths connecting to front doors at all times. Temporary interruptions in access shall be coordinated by the Contractor with the property owner or occupant as required.
- Cold plane pavement removal shall be completed on the same shift as the permanent asphalt pavement wearing course. The wearing course must be completed on cold planed streets prior to re-opening the roadway to traffic.

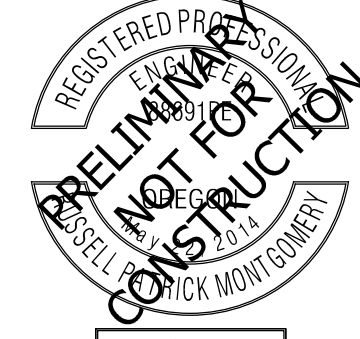
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C
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REVISIONS			
REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:



KITTELSON & ASSOCIATES
 851 SW 6TH AVENUE, SUITE 600
 PORTLAND, OR 97204
 P 503.228.5230 F 503.273.8169



REGISTERED PROFESSIONAL ENGINEER
 RUSSELL KOPPICK MONTGOMERY
 NO. 2014
 EXPIRES: 12/31/24

DESIGN	RPM
DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024



CITY OF SISTERS
 EST. 1946

General Notes

EAST PORTAL MOBILITY HUB IMPROVEMENTS

SCALE	AS SHOWN
DRAWING NAME	
SHEET	C0.1

ABBREVIATIONS

Table with 4 columns: Abbreviation, Description, Abbreviation, Description. Includes entries like Delta Angle, Asphalt Concrete, Area Drain, etc.

UTILITIES & SERVICES

SEWER & ENVIRONMENTAL
Agency: City of Sisters
Contact: Public Works Department
Phone: 541.323.5212

WATER
Agency: City of Sisters
Contact: Public Works Department
Phone: 541.323.5212

TRANSPORTATION
Agency: City of Sisters
Contact: Public Works Department
Phone: 541.323.5212

FIRE
Agency: Sisters-Camp Sherman Fire District
Contact: Station 701
Phone: 541.549.0771

POLICE
Agency: Deschutes County Police Department
Contact: Emergency / Non-Emergency
Phone: 911 / 541.693.6911

POWER
Agency: Central Electric Cooperative
Contact: Dan McDevitt
Phone: 541.312.3549

TELECOMMUNICATIONS
Agency: TDS
Contact: Chester Parker
Phone: 541.480.8963

Agency: CenturyLink
Contact: Brandon Aman
Email: baman@terratechllc.net

CITY OF SISTERS STANDARD DETAILS

- 1-1 - Standard Trenches
2-7 - Typical Bulbout Swale Detail
2-11 - Standard PCC Curb and Gutter Sections
2-12 - Expansion & Contraction Joint Detail
2-20 - Typical Stop and Street Sign Combination
2-21 - Typical Street Sign Anchor
3-7 - Service Lateral

ODOT STANDARD DRAWINGS

- RD700 - Curbs
RD902 - Detectable Warning Surface Details
RD904 - Detectable Warning Surface Placement for Curb Ramps
RD905 - Detectable Warning Surface Placement for Directional Curbs
RD910 - Perpendicular Curb Ramp
RD912 - Perpendicular Curb Ramp
RD920 - Parallel Curb Ramp
RD936 - Combination Curb Ramp
RD960 - Unique Curb Ramp
RD1000 - Construction Entrances
RD1010 - Inlet Protection Type 2, 3, 6, 7, 10 & 11
RD1040 - Sediment Fence
RD1070 - Concrete Truck Wash Out
TM500 - Pavement Marking Standard Detail Blocks
TM501 - Pavement Marking Standard Detail Blocks
TM502 - Pavement Marking Standard Detail Blocks
TM503 - Pavement Marking Standard Detail Blocks
TM671 - 3 Second Wind Gust Speed Map
TM676 - Sign Attachments
TM681 - Perforated Steel Square Tube (PSST) Sign Support Installation
TM687 - Perforated Steel Square Tube (PSST) Anchor Foundation
TM688 - Perforated Steel Square Tube (PSST) Slip Base Foundation

EXISTING LEGEND

Table mapping line styles and symbols to existing features like Right of Way Line, Property Line, Road Crown Line, etc.

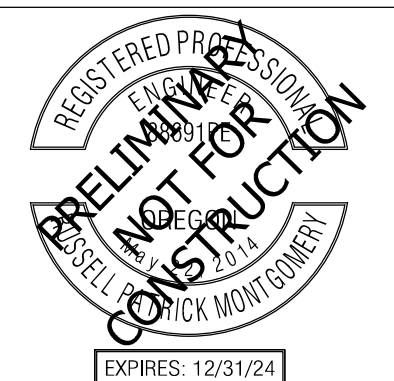
PROPOSED LEGEND

Table mapping line styles and symbols to proposed features like Dedicated Right of Way Line, Edge of Asphalt Line, Gravel Shoulder Line, etc.

REVISIONS table with columns for REV., DESCRIPTION, APPR., and DATE.

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES logo and contact information: 851 SW 6TH AVENUE, SUITE 600, PORTLAND, OR 97204, P 503.228.5230 F 503.273.8169



DESIGN table with rows for RPM, CCT/ATW, AMR, and DATE (June 2024).



Abbreviations & Legend title, EAST PORTAL MOBILITY HUB IMPROVEMENTS, and SHEET C0.2.

SCALE AS SHOWN, DRAWING NAME, SHEET C0.2.

DEMOLITION GENERAL NOTES

1. THE CONTRACTOR SHALL BE REQUIRED TO VISIT SITE PRIOR TO PREBID MEETING TO FAMILIARIZE THEMSELVES WITH DEMOLITION, GRADING, ETC., AND IMPROVEMENTS TO REMAIN.
2. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ANY AND ALL ITEMS NOT OTHERWISE LISTED HEREIN THAT CONFLICT WITH THE CONSTRUCTION OF THE PROJECT. CONTRACTOR SHALL CONTACT ENGINEER IMMEDIATELY TO DETERMINE IF ANY ITEMS NOT SHOWN ON THE PLANS MUST BE REMOVED. FAILURE TO DO SO DOES NOT RELIEVE CONTRACTOR OF RESPONSIBILITY AND COST FOR REMOVING ITEMS REQUIRED.
3. CONTRACTOR TO DISPOSE OF ALL DEBRIS AND EXCESS MATERIAL ACCORDING TO LOCAL REQUIREMENTS.
4. LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN.
5. PRIOR TO START OF CONSTRUCTION, CONTRACTOR IS TO NOTIFY UTILITY COMPANIES TO FIELD LOCATE EXISTING UTILITIES IN THE AREA.
6. DEMOLITION CONTRACTOR TO SUBMIT TRUCK ROUTE, SCHEDULE OF DEMOLITION, TRAFFIC CONTROL PLAN, METHOD OF DEMOLITION, AND DUST AND NOISE CONTROL MEASURES, AS REQUIRED, TO OBTAIN EXCAVATION PERMIT.
7. ALL DEMOLISHED ASPHALTIC CONCRETE AND PORTLAND CEMENT CONCRETE SHALL BE REMOVED FROM SITE. UNLESS DETERMINED ACCEPTABLE FOR REUSE BY THE GEOTECHNICAL ENGINEER, ALL RECYCLED FILL MUST BE FREE OF EXTRANEOUS REINFORCING MATERIAL, DEBRIS, OR OTHER DELETERIOUS MATERIAL.
8. THE CONTRACTOR SHALL TAKE EFFECTIVE ACTION TO PREVENT THE FORMATION OF ANY AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM FAILURE TO FOLLOW THE DEQ, CITY OF SISTERS OR DESCHUTES COUNTY GUIDELINES.
9. CONTRACTOR SHALL REMOVE TREES MARKED FOR REMOVAL, SHRUBS, RUBBISH, AND MAN-MADE STRUCTURES INCLUDING, BUT NOT LIMITED TO, ASPHALTIC PAVED SURFACES, GRAVELED AREAS, ETC. WITHIN THE CLEARING LIMITS. THE ITEMS LISTED ABOVE SHALL BE DISPOSED OF OFF-SITE.
10. ALL BURIED STRUCTURES (I.E. TANKS, LEACH LINES, DRAIN TILE, AND PIPES) NOT DESIGNATED TO REMAIN ON THE SITE, SHALL BE REMOVED AND THE RESULTING EXCAVATIONS SHALL BE PROPERLY BACKFILLED AND COMPACTED PRIOR TO ANY GRADING OR FILLING OPERATIONS. THIS IS TO INCLUDE STUMPS AND ROOT BALLS OF TREES TO BE REMOVED FROM THE SITE.
11. ALL UNSUITABLE MATERIAL (SOIL & VEGETATION) REMOVED DURING THE CLEARING, GRUBBING, AND STRIPPING OPERATIONS THAT WILL NOT BE REUSED IN LANDSCAPE AREAS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A SUITABLE LOCATION ACCORDING TO LOCAL REQUIREMENTS.
12. ALL EXISTING REMAINING UTILITIES AND REMAINING IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE LOCAL AGENCY AND THE ENGINEER, AT THE CONTRACTOR'S SOLE EXPENSE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DOCUMENT PRIOR DAMAGES.
13. ANY DEMOLITION WITHIN A PUBLIC UTILITY EASEMENT IS TO BE COORDINATED WITH UTILITY PRIOR TO BEGINNING DEMOLITION.
14. IF ASBESTOS IS FOUND DURING DEMOLITION, ALL ASBESTOS SHALL BE REMOVED FROM THE SITE ACCORDING TO THE FOLLOWING REQUIREMENTS. ASBESTOS REMOVAL SHALL BE PERFORMED BY A QUALIFIED ASBESTOS REMOVAL CONTRACTOR AND SHALL BE REMOVED TO A CERTIFIED SITE FOR ASBESTOS WASTE. ALL NECESSARY PERMITS FOR THE REMOVAL SHALL BE OBTAINED BY THE CONTRACTOR OR THE ABATEMENT CONTRACTOR PRIOR TO DISTURBING ANY ASBESTOS MATERIAL.

WILDLIFE NOTE

PROTECTION OF WILDLIFE AND WILDLIFE HABITAT - COMPLY WITH THE LAWS OF THE OREGON DEPARTMENT OF FISH AND WILDLIFE AND U.S. FISH AND WILDLIFE SERVICE. CONDUCT OPERATIONS TO AVOID ANY HAZARDS TO THE SAFETY AND PROPAGATION OF WILDLIFE.

MIGRATORY BIRDS - COMPLY WITH THE MIGRATORY BIRD TREATY ACT (16 U.S.C. 703-712) WHICH PROTECTS MOST SPECIES OF BIRDS IN OREGON AND PROHIBITS THE REMOVAL OF NESTS CONTAINING EGGS AND DEPENDENT YOUNG. MIGRATORY BIRDS INCLUDE MOST BIRDS IN OREGON, EXCEPT PIGEONS, HOUSE SPARROWS, AND STARLINGS. EXCEPT WHERE ALLOWED BY THE CONTRACT AND BY PERMIT, DO NOT DISTURB A MIGRATORY BIRD NEST CONTAINING EGGS OR DEPENDENT YOUNG, OR THE SURFACE THE NEST IS BUILT ON. IF MIGRATORY BIRD NESTS ARE ENCOUNTERED THAT CONTAIN EGGS OR DEPENDENT YOUNG, STOP ALL ACTIONS THAT MAY DISRUPT THE NEST AND CONTACT THE ENGINEER. DO NOT RESUME WORK, THAT MAY DISRUPT NESTING, UNTIL APPROVED BY THE ENGINEER.

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, THOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

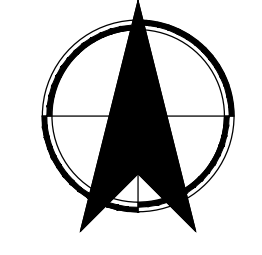
ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987).

DEMOLITION NOTES

- 1 DEMO AND REMOVE EXISTING ASPHALT PAVEMENT.
- 2 REMOVE AND SALVAGE EXISTING BOLLARD TO CITY OF SISTERS PUBLIC WORKS.
- 3 PROTECT IN PLACE EXISTING MONUMENT SIGN.
- 4 REMOVE AND SALVAGE EXISTING SIGN TO CITY OF SISTERS PUBLIC WORKS.
- 5 EXISTING SIGN TO BE RELOCATED, SEE SIGNING AND STRIPING PLANS.
- 6 PROTECT IN PLACE EXISTING SIGN.
- 7 DEMO AND REMOVE EXISTING COMPACTED GRAVEL SURFACE AS NECESSARY FOR PAVEMENT SECTIONS, STRUCTURAL MATERIALS, AND LANDSCAPING.
- 8 REMOVE EXISTING TREE, INCLUDING ROOTS.
- 9 PROTECT IN PLACE EXISTING KIOSK BUILDING.
- 10 PROTECT IN PLACE EXISTING RESTROOM BUILDING AND UTILITY SERVICES.
- 11 INSTALL TREE PROTECTION FENCING, SEE EROSION AND SEDIMENT CONTROL PLAN SHEET EC-1.

CLEARING AND GRUBBING NOTE

ANTICIPATED SITE STRIPPING DEPTH IS 12". FINAL DEPTH TO BE DETERMINED IN THE FIELD AND APPROVED BY THE INSPECTOR.



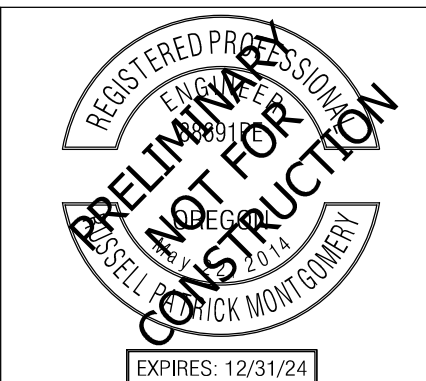
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REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES

851 SW 6TH AVENUE, SUITE 600
 PORTLAND, OR 97204
 P 503.228.5230 F 503.273.8169



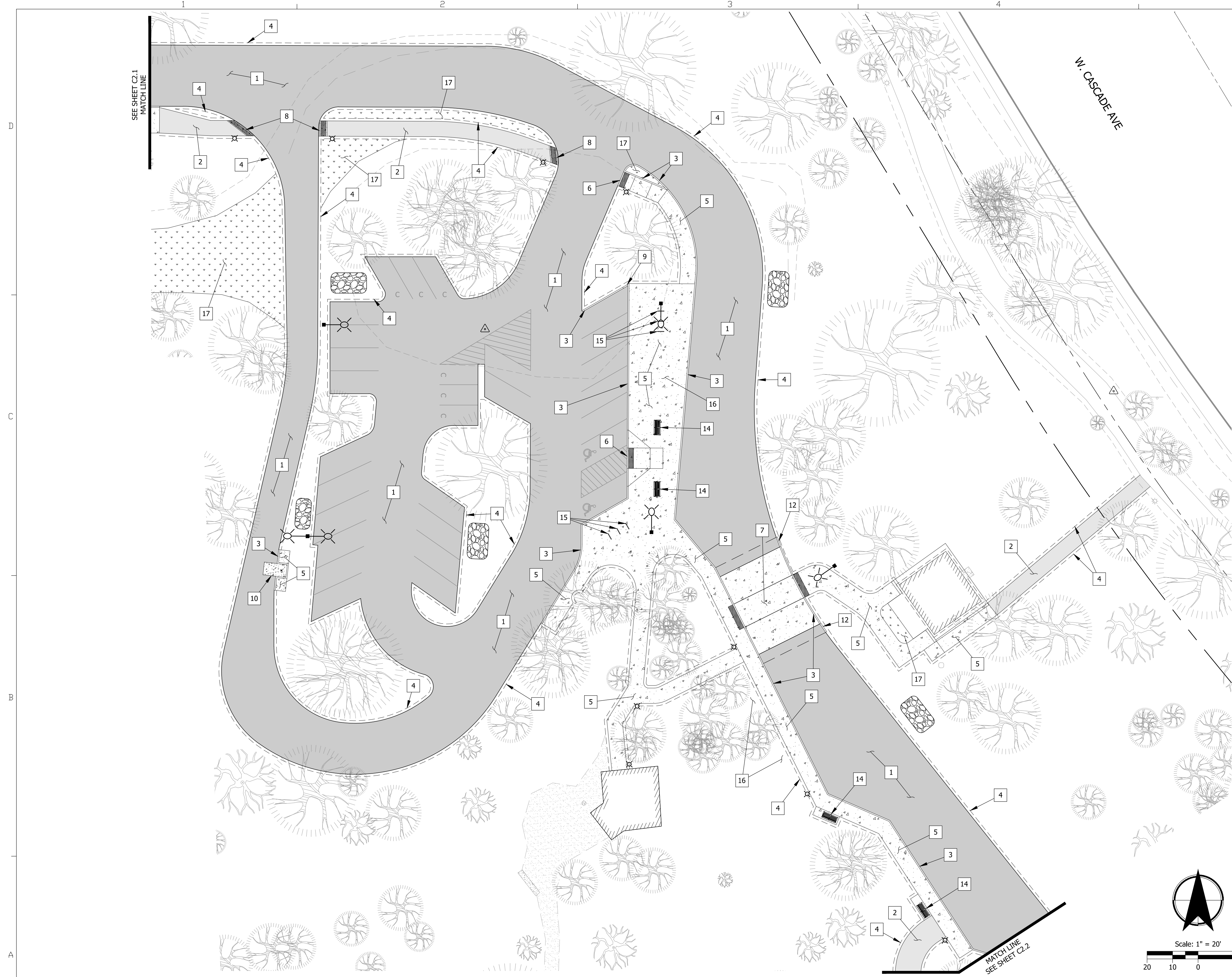
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DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024



Existing Conditions & Demolition Plan

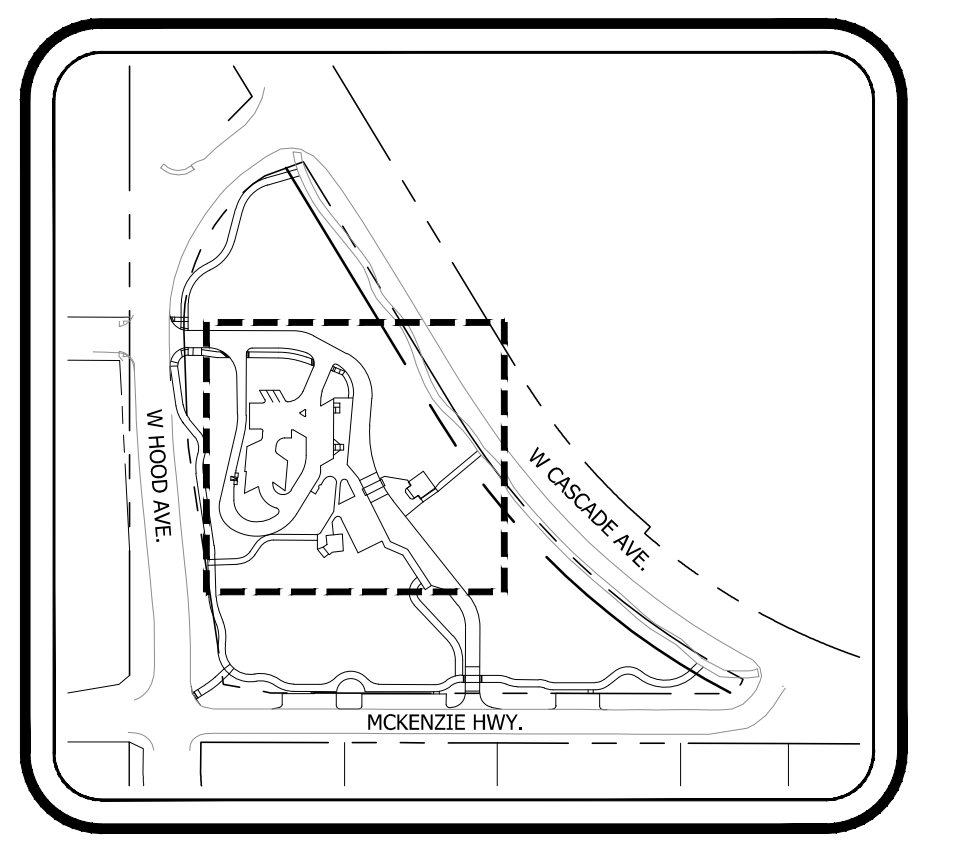
EAST PORTAL MOBILITY HUB IMPROVEMENTS

SCALE	AS SHOWN
DRAWING NAME	Existing Conditions & Demolition Plan
SHEET	C1.0

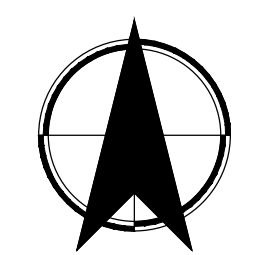


CONSTRUCTION NOTES

- 1 CONSTRUCT VEHICLE ASPHALT PAVING SECTION PER DETAIL 1 ON SHEET C5.2.
- 2 CONSTRUCT MULTI-USE PATH ASPHALT PAVING SECTION PER DETAIL 1 ON SHEET C5.2.
- 3 CONSTRUCT STANDARD PCC CURB, TYPE II PER CITY OF SISTERS STANDARD DETAIL 2-11 ON SHEET C5.0.
- 4 CONSTRUCT COMPACTED GRAVEL SHOULDER PER DETAIL 2 ON SHEET C5.2.
- 5 CONSTRUCT PCC SIDEWALK SECTION, WIDTH PER PLAN, PER CITY OF SISTERS MODIFIED DETAIL 2-12 ON SHEET C5.0.
- 6 CONSTRUCT ACCESSIBLE CURB RAMP WITH BROOM FINISH, INSTALL TRUNCATED DOMES DETECTABLE WARNING 2' x FULL RAMP WIDTH, SEE GRADING DETAILS ON SHEET C3.3 FOR ADDITIONAL INFORMATION.
- 7 CONSTRUCT 4,000 PSI CONCRETE RAISED PEDESTRIAN CROSSING WITH IMPACT SLABS PER DETAIL 5 ON SHEET C5.2, INSTALL TRUNCATED DOMES DETECTABLE WARNING 2' x FULL CROSSWALK WIDTH, SEE GRADING DETAIL 5 ON SHEET C3.3 FOR ADDITIONAL INFORMATION.
- 8 CONSTRUCT PCC SIDEWALK SECTION, 3' x FULL PATH WIDTH AND WET-SET TRUNCATED DOMES DETECTABLE WARNING 2' x FULL PATH WIDTH, SEE DETAIL 3 ON SHEET C5.2.
- 9 CONSTRUCT 2' WIDE CURB CUT FOR STORMWATER TO DRAIN TO LANDSCAPE AREA.
- 10 CONSTRUCT PCC RV DUMP STATION PER DETAIL 6 ON SHEET C5.2, PAY STATION, LOCKING CAP, AND WATER TOWER TO BE INSTALLED BY OTHERS, SEE COMPOSITE UTILITY PLAN SHEET C4.0 AND GRADING DETAIL 4 ON SHEET C3.3 FOR REFERENCE.
- 12 CONSTRUCT CURB TRANSITION FROM 6" TO 0" EXPOSURE, SEE CURB ENDING DETAIL ON ODOT STD. DWG. RD700 ON SHEET C5.1.
- 14 INSTALL 6' GRETCHEN BENCH WITH LOOP ARMRESTS, MANUFACTURED BY LANDSCAPE FORMS, SURFACE MOUNTED, SEE DETAIL ON SHEET C5.2.
- 15 INSTALL STAPLE BICYCLE RACK (INVERTED U), FLANGE SURFACE MOUNTED, 4" OFF CURB FACES AND/OR 2' OFF WALL OR OBSTRUCTION, SEE DETAIL ON SHEET C5.2.
- 16 POTENTIAL BUS SHELTER AREA, TO BE INSTALLED BY OTHERS.
- 17 LANDSCAPE AREA, INSTALL 12" MIN. STRIPPINGS TOPSOIL.



KEY MAP
SCALE: NTS

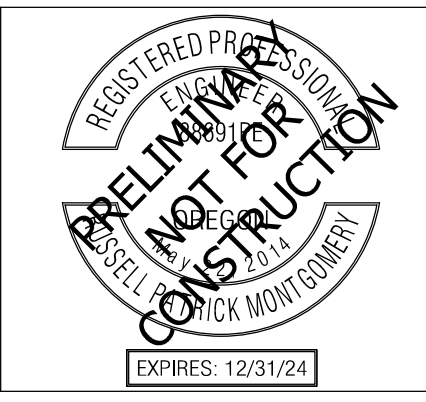


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REV.	DESCRIPTION	APPR.	DATE

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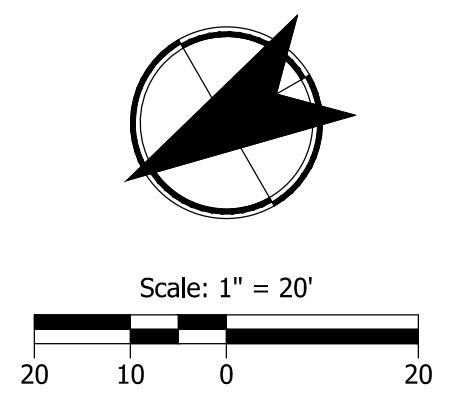
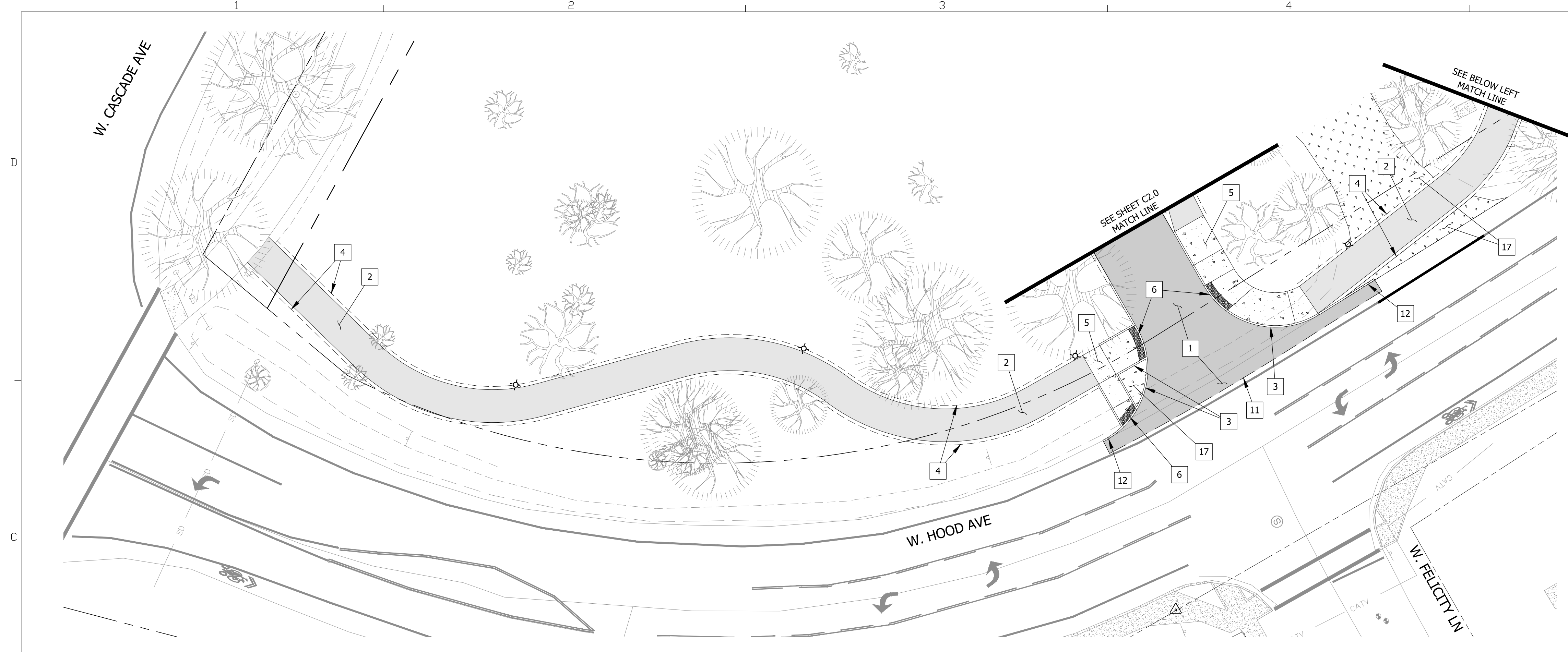
KITTELSON & ASSOCIATES
 851 SW 6TH AVENUE, SUITE 600
 PORTLAND, OR 97204
 P 503.228.5230 F 503.273.8169



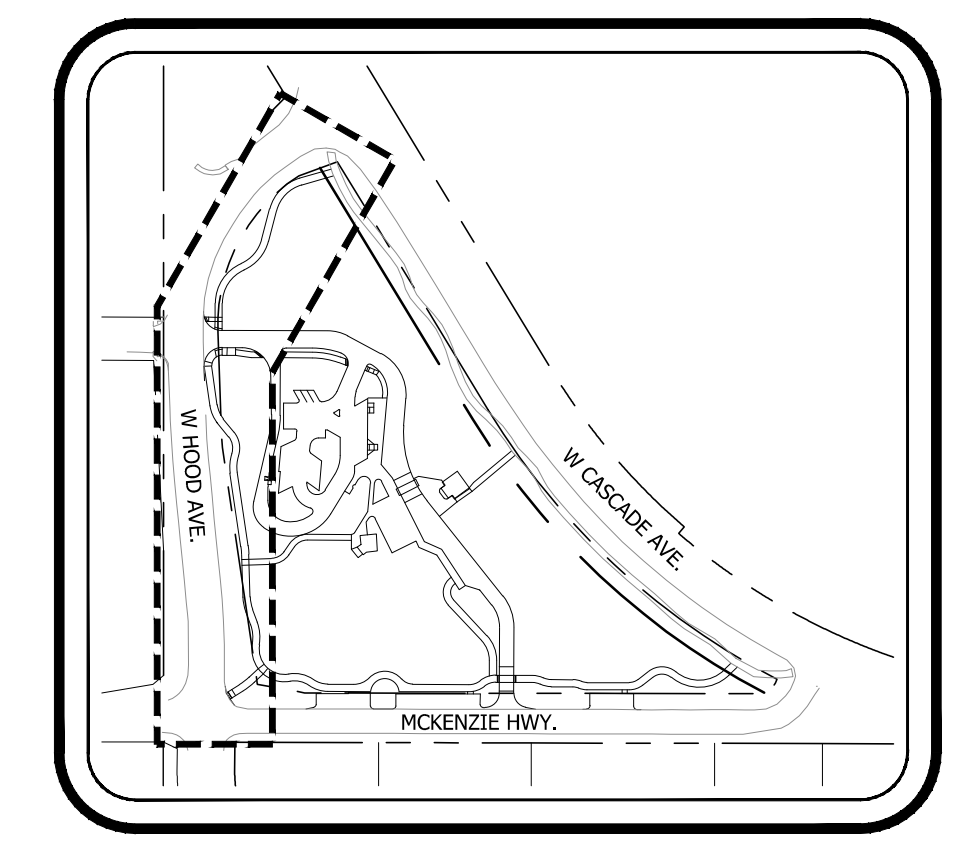
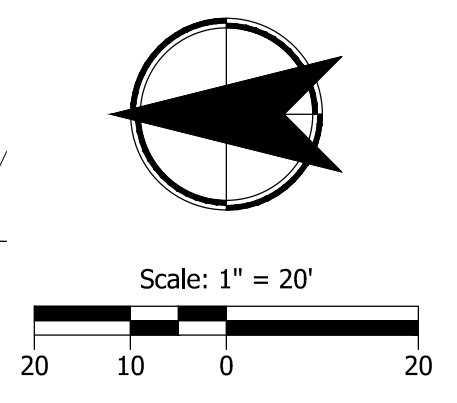
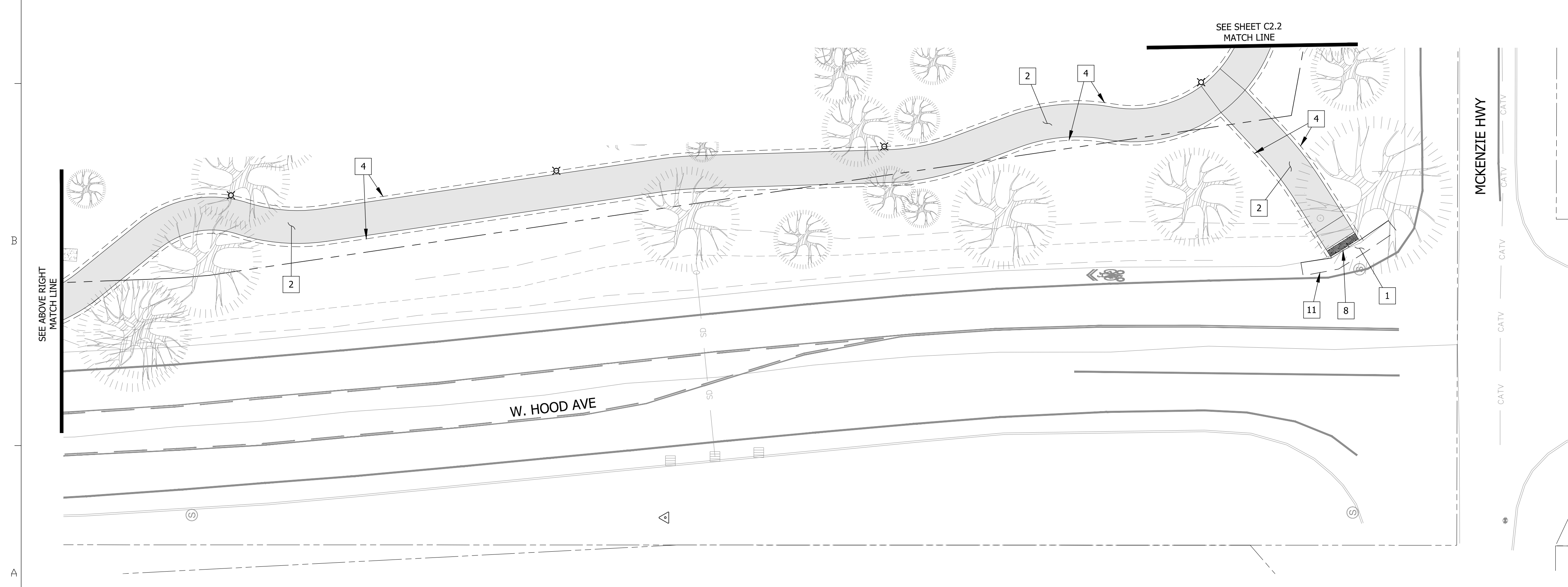
DESIGN	RPM
DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024



SCALE: AS SHOWN
 DRAWING NAME: Site Plan - Mobility Hub
 SHEET: EAST PORTAL MOBILITY HUB IMPROVEMENTS
C2.0



- CONSTRUCTION NOTES**
- 1 CONSTRUCT VEHICLE ASPHALT PAVING SECTION PER DETAIL 1 ON SHEET C5.2.
 - 2 CONSTRUCT MULTI-USE PATH ASPHALT PAVING SECTION PER DETAIL 1 ON SHEET C5.2.
 - 3 CONSTRUCT STANDARD PCC CURB, TYPE II PER CITY OF SISTERS STANDARD DETAIL 2-11 ON SHEET C5.0.
 - 4 CONSTRUCT COMPACTED GRAVEL SHOULDER PER DETAIL 2 ON SHEET C5.2.
 - 5 CONSTRUCT PCC SIDEWALK SECTION, WIDTH PER PLAN, PER CITY OF SISTERS MODIFIED DETAIL 2-12 ON SHEET C5.0.
 - 6 CONSTRUCT ACCESSIBLE CURB RAMP WITH BROOM FINISH, INSTALL TRUNCATED DOMES DETECTABLE WARNING 2' x FULL RAMP WIDTH, SEE GRADING DETAILS ON SHEET C3.3 FOR ADDITIONAL INFORMATION.
 - 8 CONSTRUCT PCC SIDEWALK SECTION, 3' x FULL PATH WIDTH AND WET-SET TRUNCATED DOMES DETECTABLE WARNING 2' x FULL PATH WIDTH, SEE DETAIL 3 ON SHEET C5.2.
 - 11 SAWCUT AND REMOVE EXISTING AC PAVEMENT. PROVIDE CLEAN EDGE FOR PAVEMENT REPLACEMENT JOINT.
 - 12 CONSTRUCT CURB TRANSITION FROM 6" TO 0" EXPOSURE, SEE CURB ENDING DETAIL ON ODOT STD. DWG. RD700 ON SHEET C5.1.
 - 17 LANDSCAPE AREA, INSTALL 12" MIN. STRIPPINGS TOPSOIL.

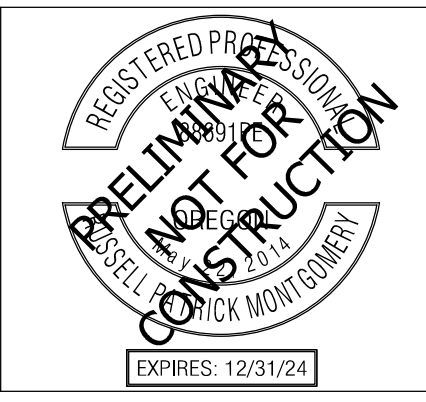


REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

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 PORTLAND, OR 97204
 P 503.228.5230 F 503.273.8169



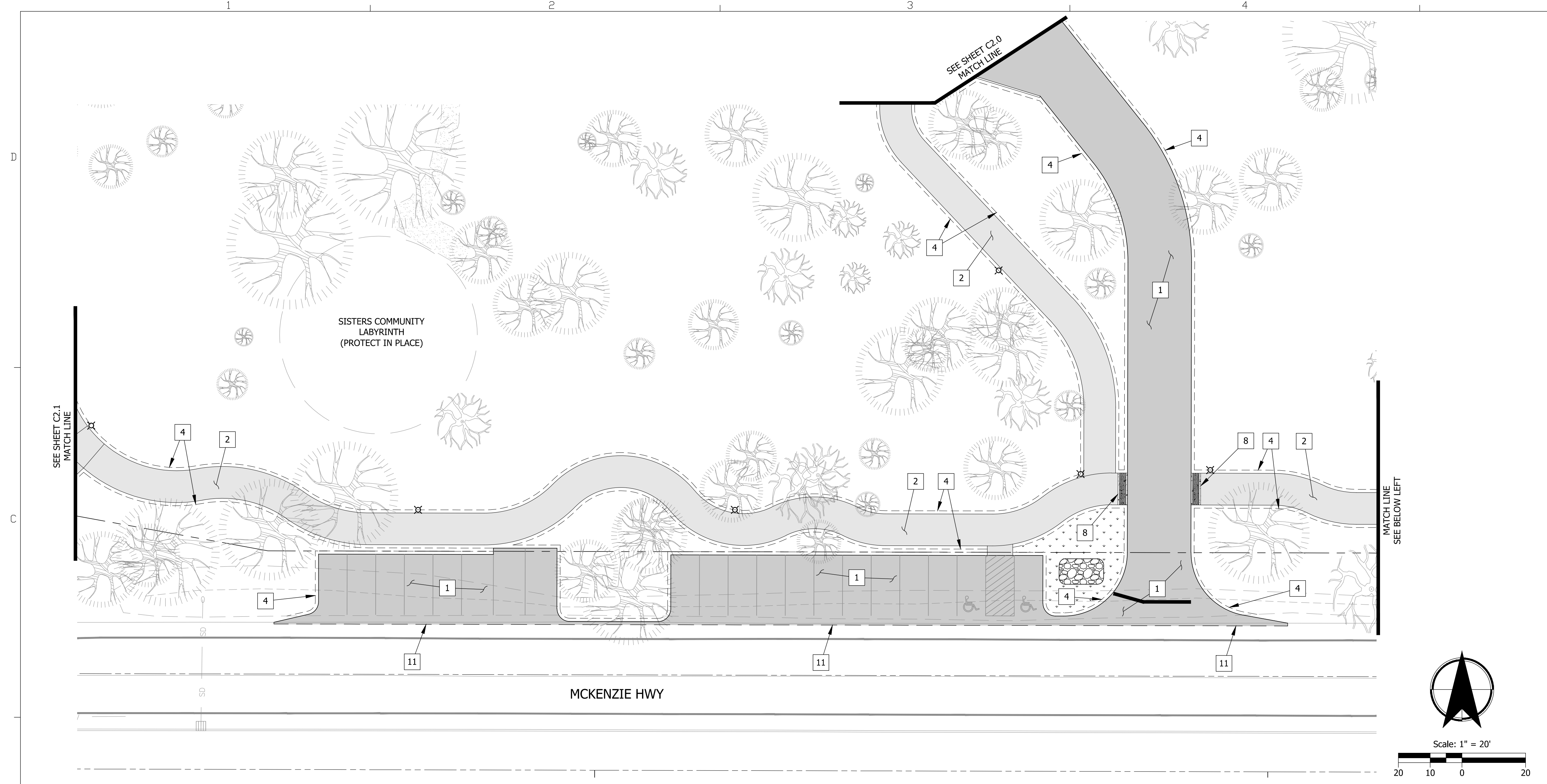
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CHECKED	AMR
DATE	June 2024



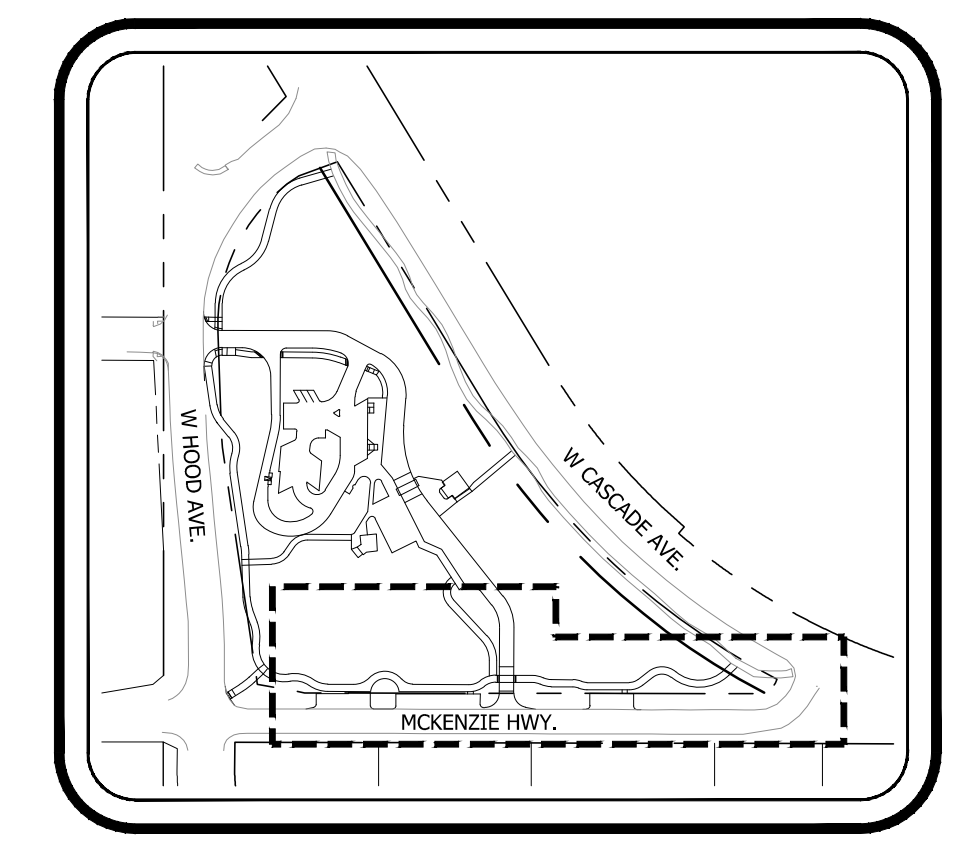
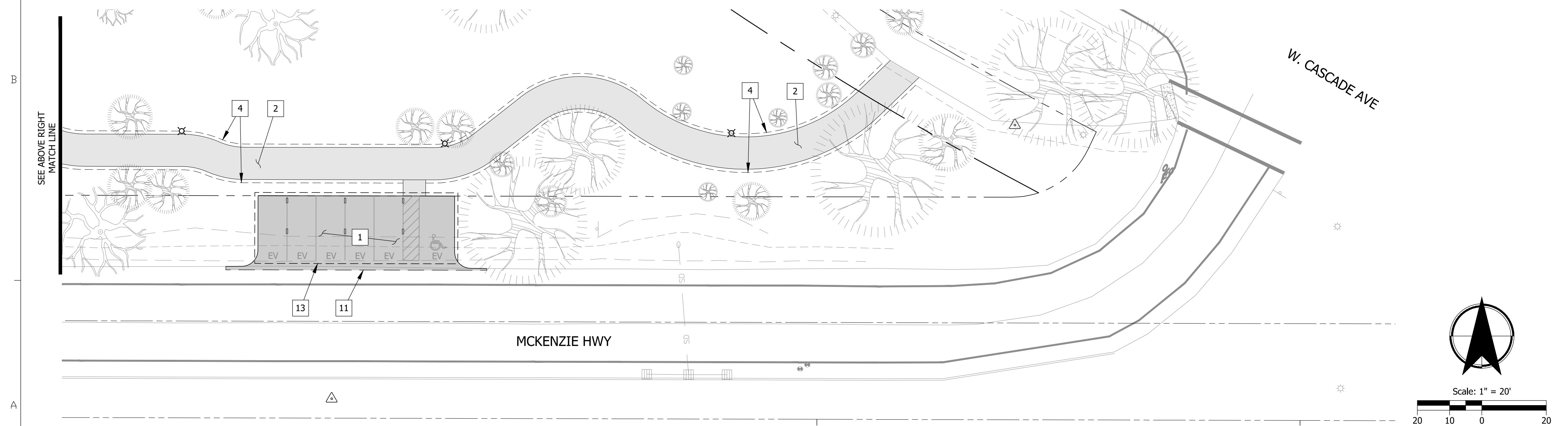
Site Plan - W. Hood Ave

EAST PORTAL MOBILITY HUB IMPROVEMENTS

SCALE	AS SHOWN
DRAWING NAME	
SHEET	C2.1



- CONSTRUCTION NOTES**
- 1 CONSTRUCT VEHICLE ASPHALT PAVING SECTION PER DETAIL 1 ON SHEET CS.2.
 - 2 CONSTRUCT MULTI-USE PATH ASPHALT PAVING SECTION PER DETAIL 1 ON SHEET CS.2.
 - 4 CONSTRUCT COMPACTED GRAVEL SHOULDER PER DETAIL 2 ON SHEET CS.2.
 - 8 CONSTRUCT PCC SIDEWALK SECTION, 3' x FULL PATH WIDTH AND WET-SET TRUNCATED DOMES DETECTABLE WARNING 2' x FULL PATH WIDTH, SEE DETAIL 3 ON SHEET CS.2.
 - 11 SAWCUT AND REMOVE EXISTING AC PAVEMENT. PROVIDE CLEAN EDGE FOR PAVEMENT REPLACEMENT JOINT.
 - 13 COVERED PARKING CANOPY AND SOLAR PANELS TO BE CONSTRUCTED BY OTHERS.
 - 17 LANDSCAPE AREA, INSTALL 12" MIN. STRIPPINGS TOPSOIL.

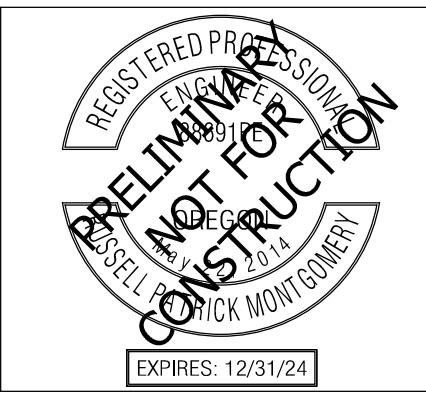


REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES

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 P 503.228.5230 F 503.273.8169



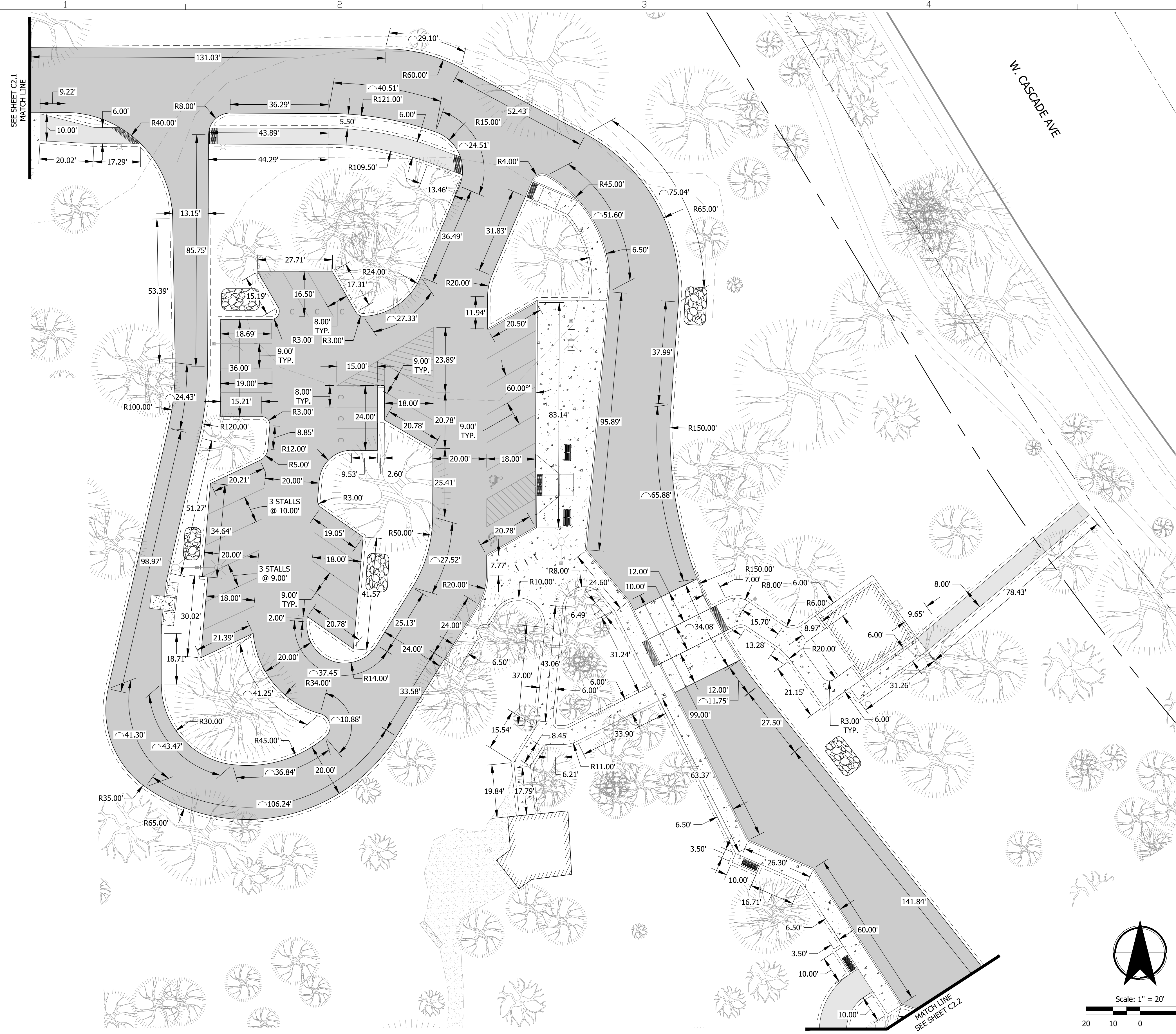
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CHECKED	AMR
DATE	June 2024



Site Plan - McKenzie Hwy

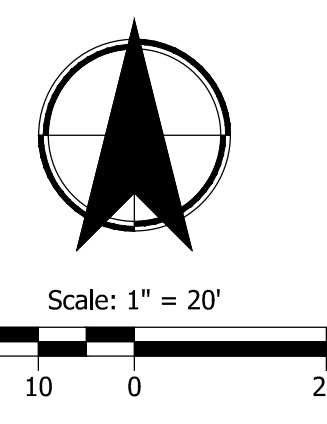
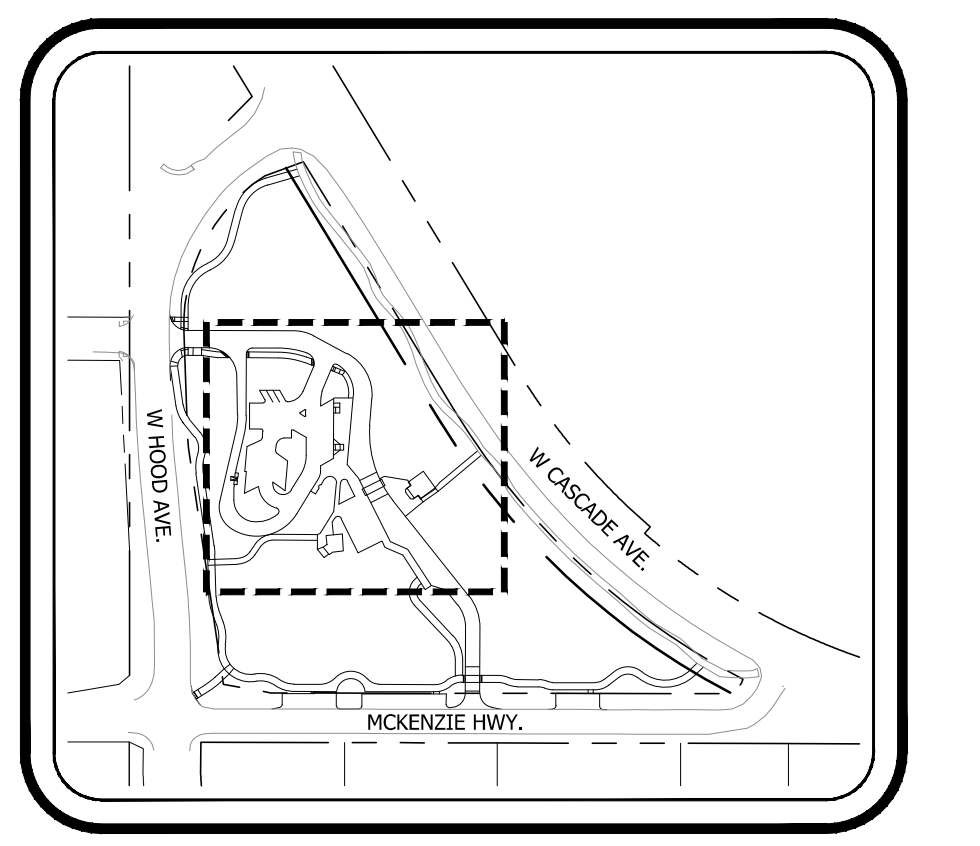
EAST PORTAL MOBILITY HUB IMPROVEMENTS

SCALE: AS SHOWN
 DRAWING NAME:
 SHEET: **C2.2**



DIMENSION LEGEND

	25.04'	LINE (TANGENT) LENGTH
	25.41'	CURVE (ARC) LENGTH
	R5.00'	CURVE (ARC) RADIUS

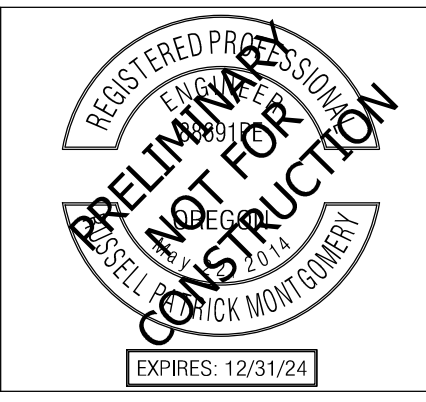


REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES

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PORTLAND, OR 97204
P 503.228.5230 F 503.273.8169



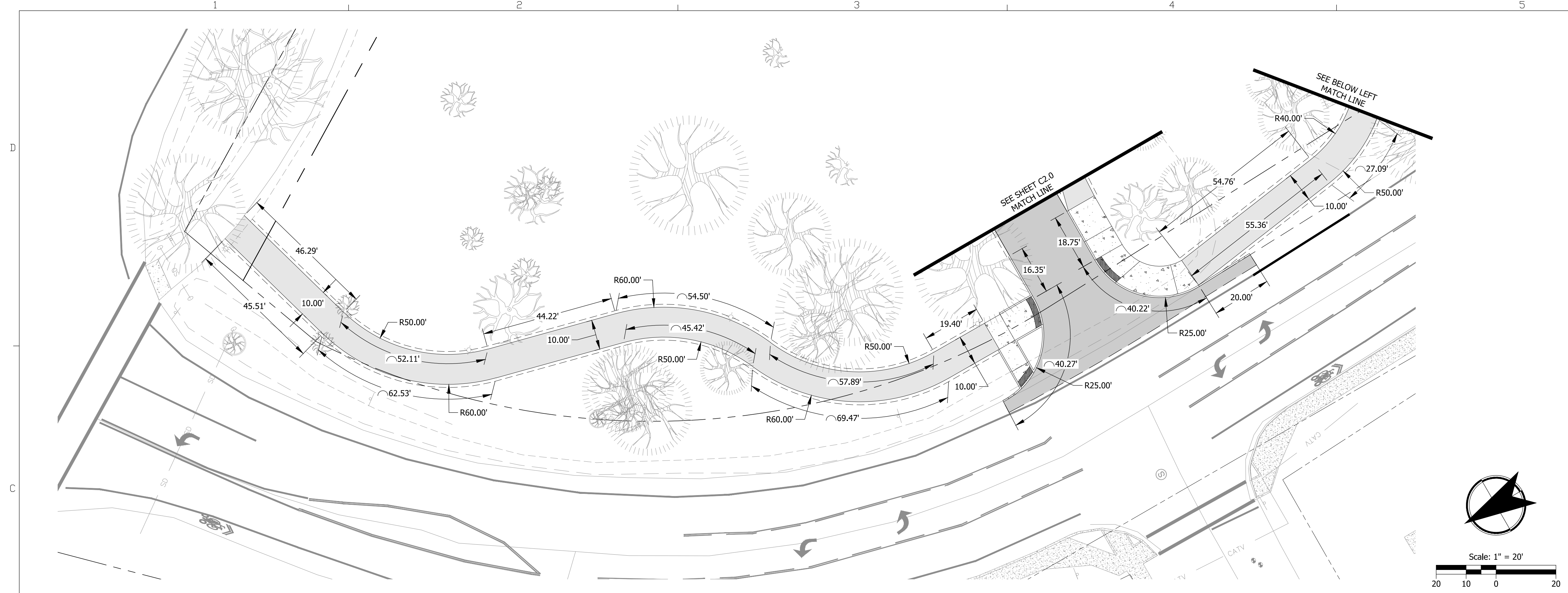
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DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024



Dimension Site Plan - Mobility Hub

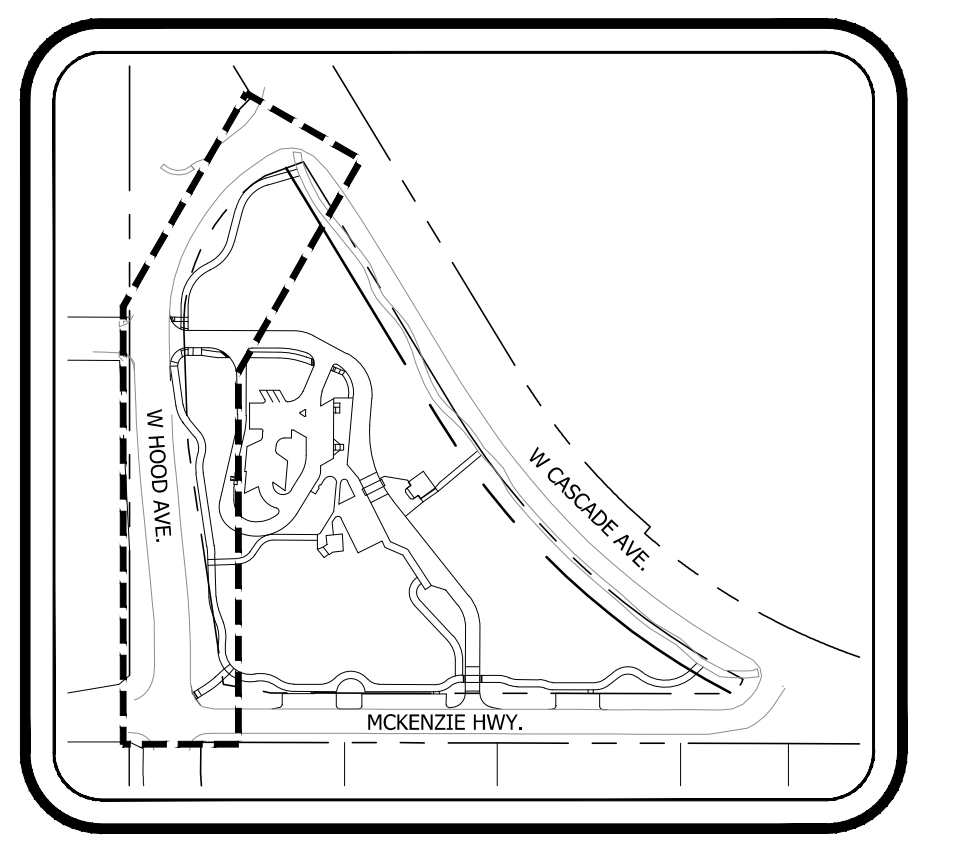
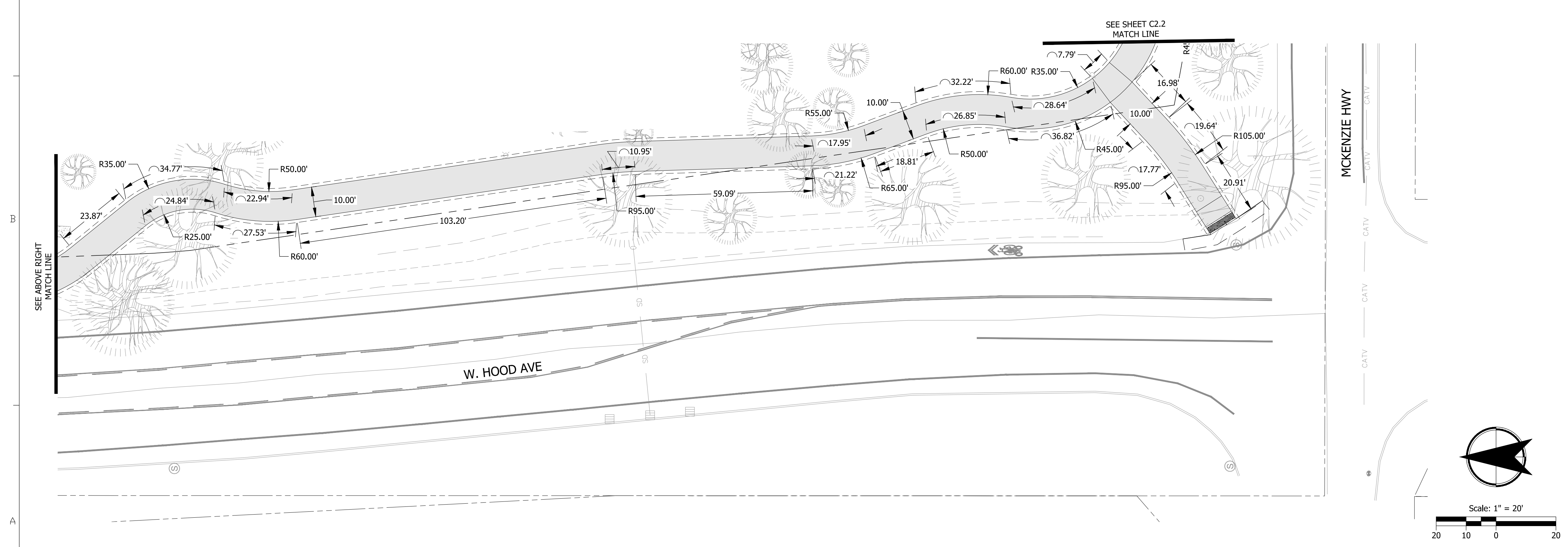
EAST PORTAL MOBILITY HUB IMPROVEMENTS

SCALE	AS SHOWN
DRAWING NAME	
SHEET	C2.3



DIMENSION LEGEND

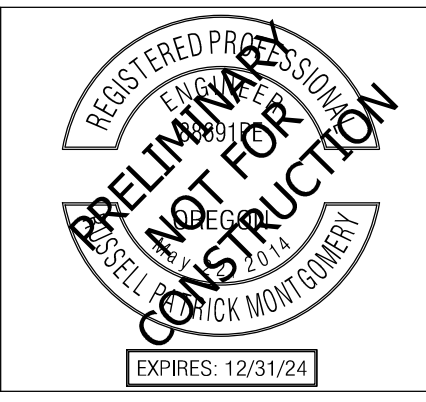
	25.04'	LINE (TANGENT) LENGTH
	25.41'	CURVE (ARC) LENGTH
	R5.00'	CURVE (ARC) RADIUS



REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES
 851 SW 6TH AVENUE, SUITE 600
 PORTLAND, OR 97204
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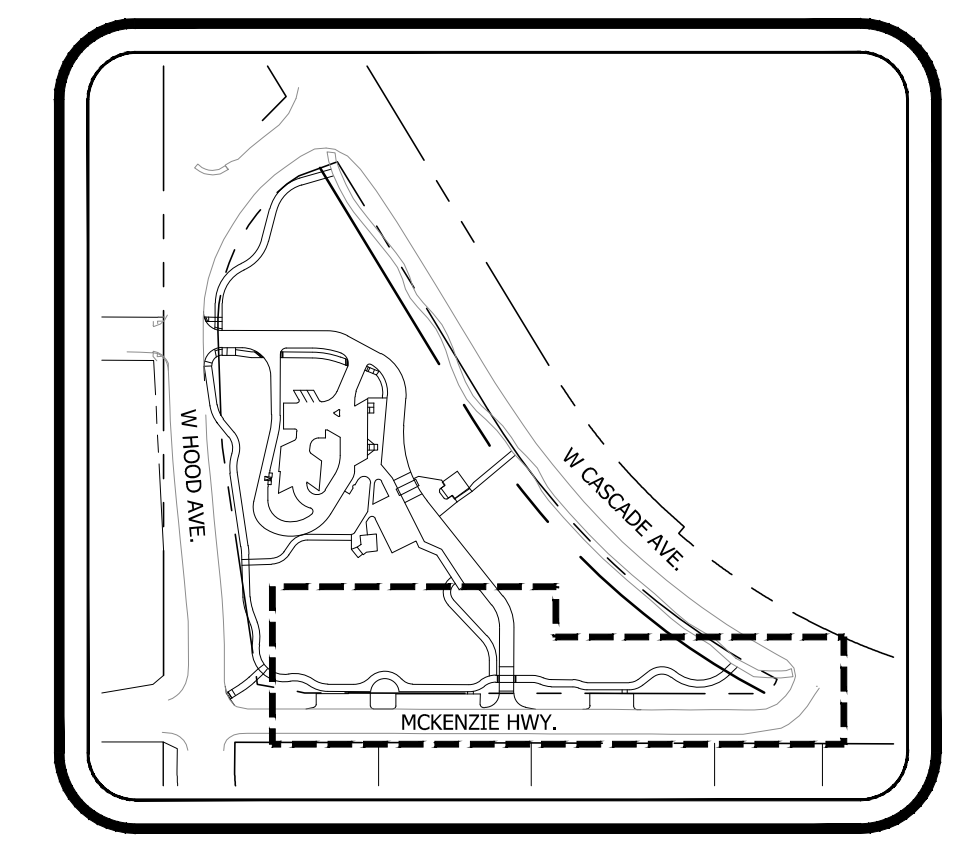
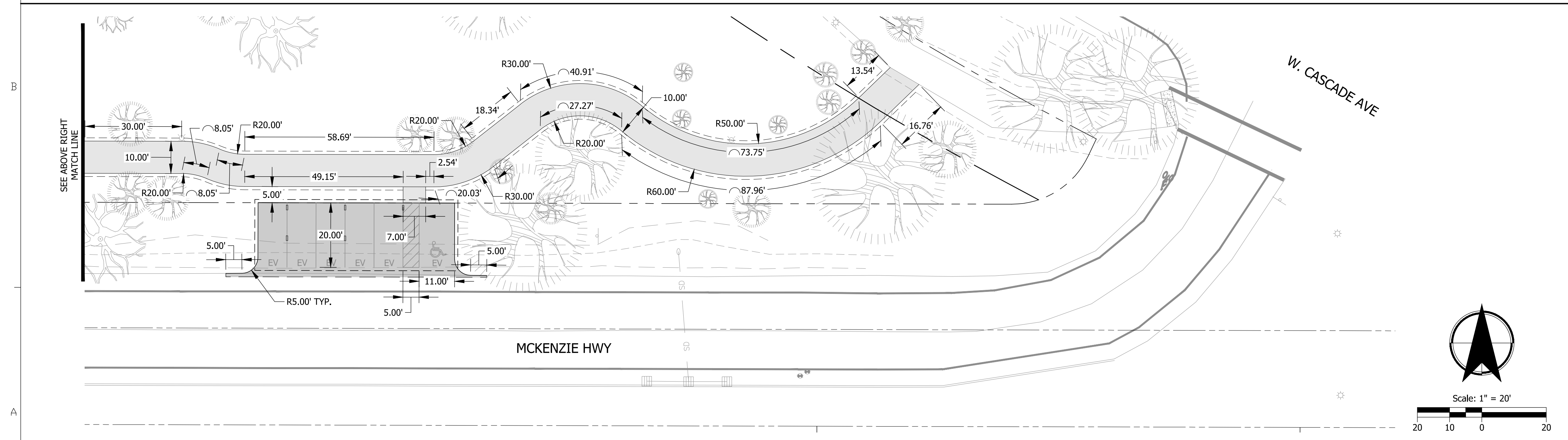
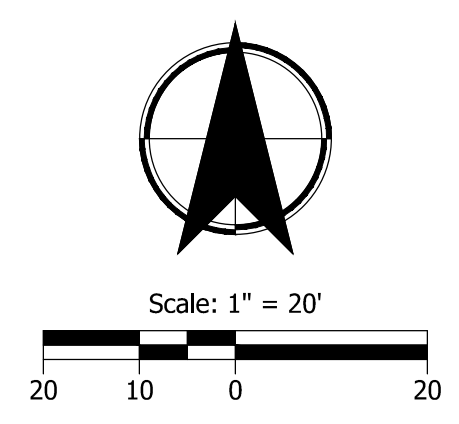
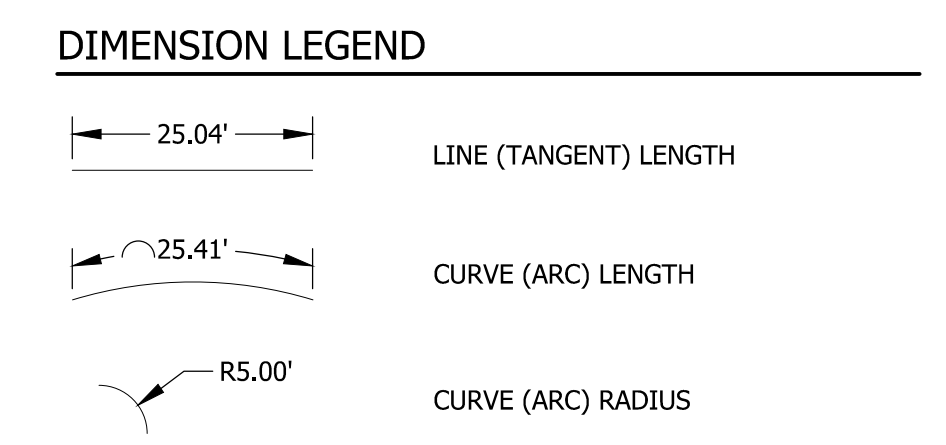
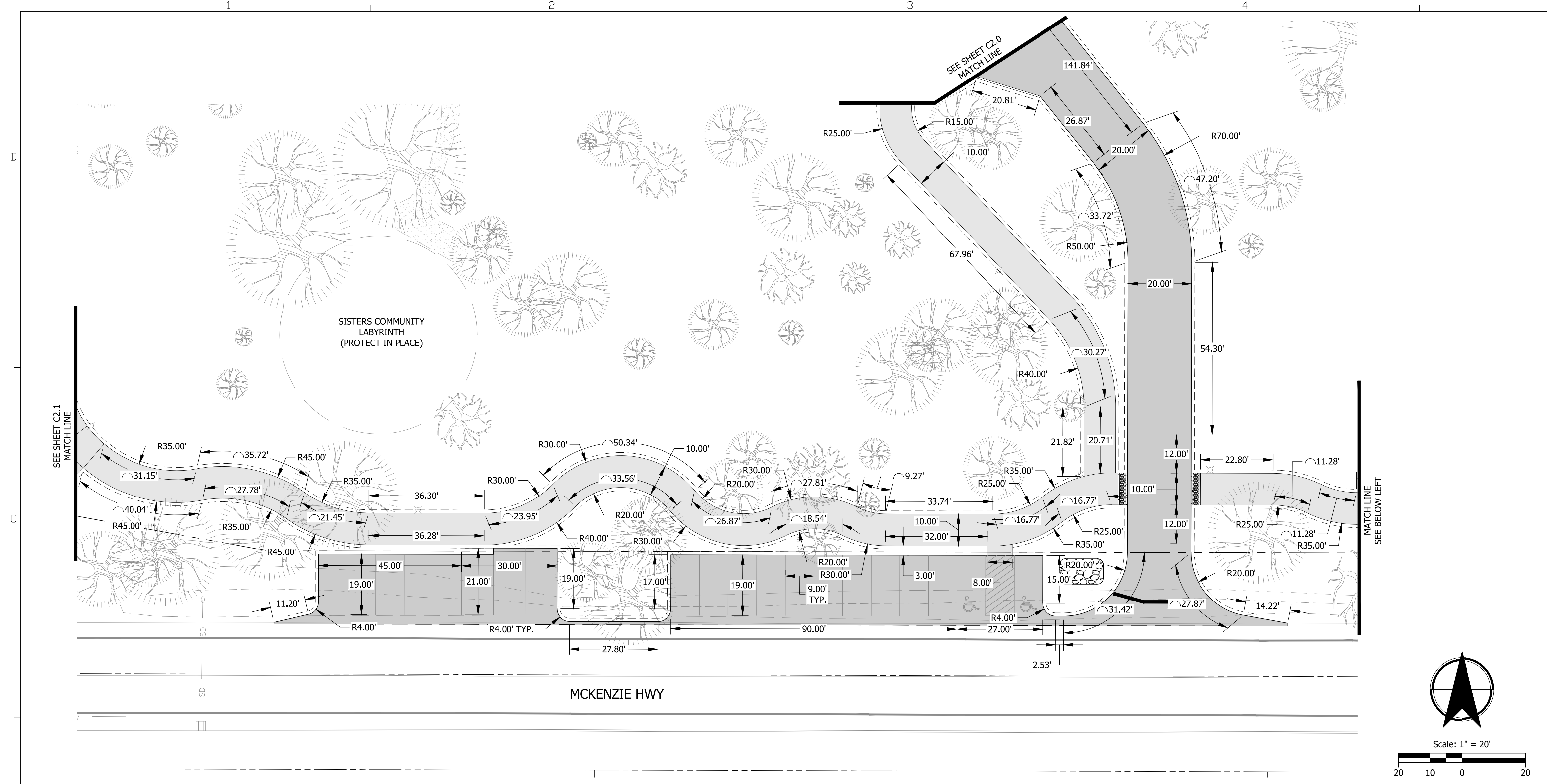


DESIGN	RPM
DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024



Dimension Site Plan - W. Hood Ave
 EAST PORTAL MOBILITY HUB IMPROVEMENTS

SCALE	AS SHOWN
DRAWING NAME	
SHEET	C2.4



KEY MAP
SCALE: NTS

REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

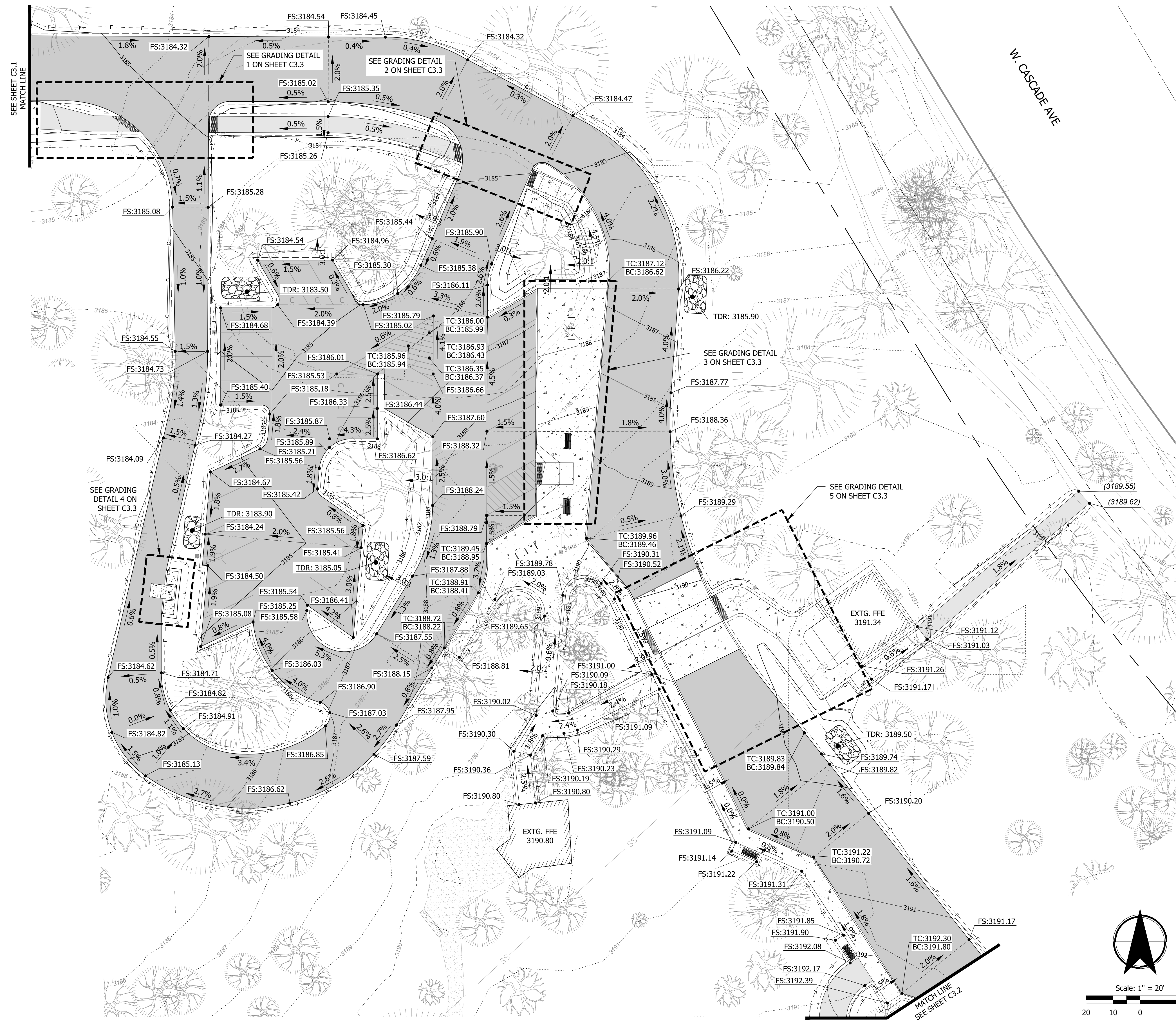
KITTELSON & ASSOCIATES
 851 SW 6TH AVENUE, SUITE 600
 PORTLAND, OR 97204
 P 503.228.5230 F 503.273.8169

REGISTERED PROFESSIONAL ENGINEER
 PRELIMINARY
 NOT FOR CONSTRUCTION
 EXPIRES: 12/31/24

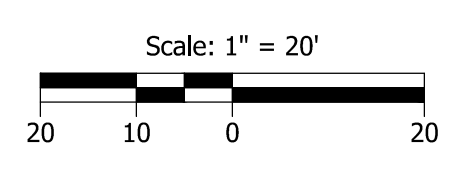
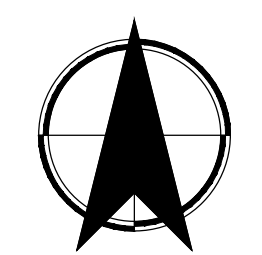
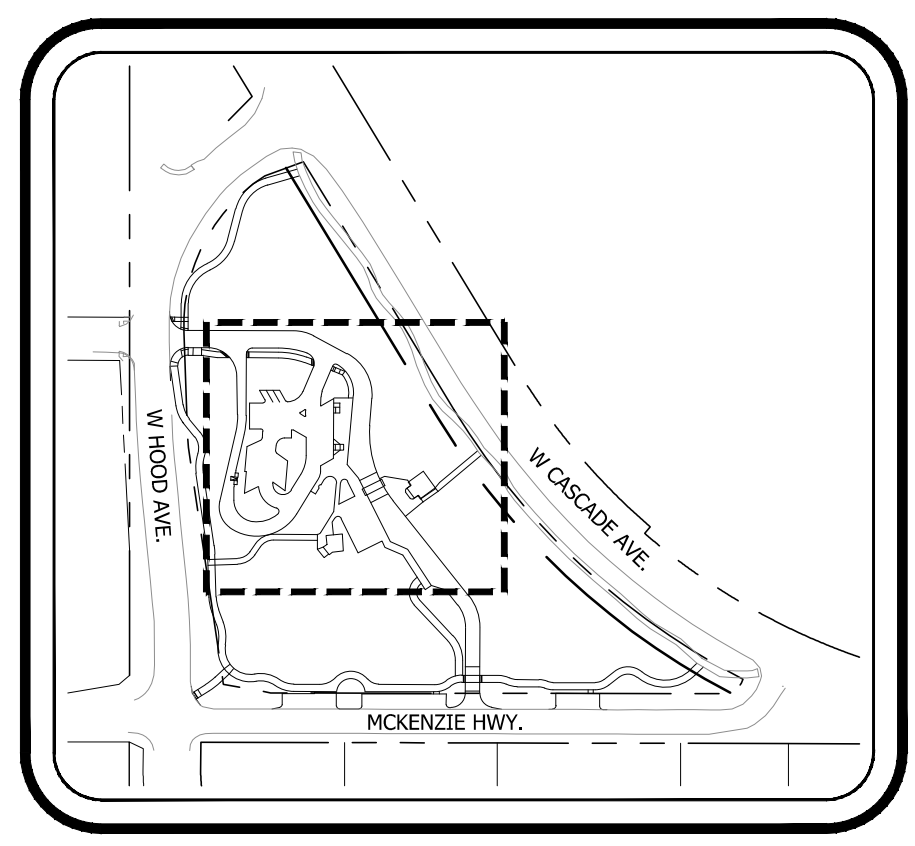
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DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024

Dimension Site Plan - McKenzie Hwy
 EAST PORTAL MOBILITY HUB IMPROVEMENTS

SCALE	AS SHOWN
DRAWING NAME	
SHEET	C2.5



- SPOT ELEVATION ABBREVIATIONS**
- R - RIM
 - FFE - FINISHED FLOOR ELEVATION
 - TC - TOP BACK OF CURB
 - BC - BOTTOM FACE OF CURB
 - FS - FINISHED SURFACE
 - FG - FINISHED GROUND (TOP OF TOPSOIL)
 - TDR - TOP OF DRAIN ROCK
 - () - EXISTING ELEVATION



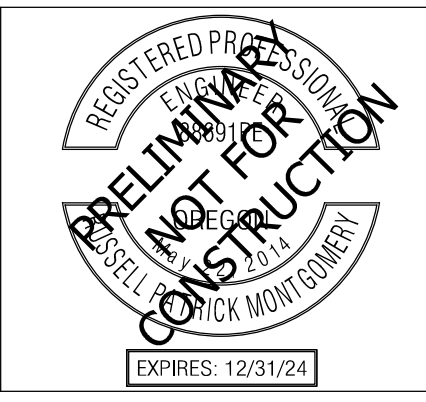
REV.	DESCRIPTION	APPR.	DATE

REVISIONS

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES

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 PORTLAND, OR 97204
 P 503.228.5230 F 503.273.8169



DESIGN	RPM
DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024



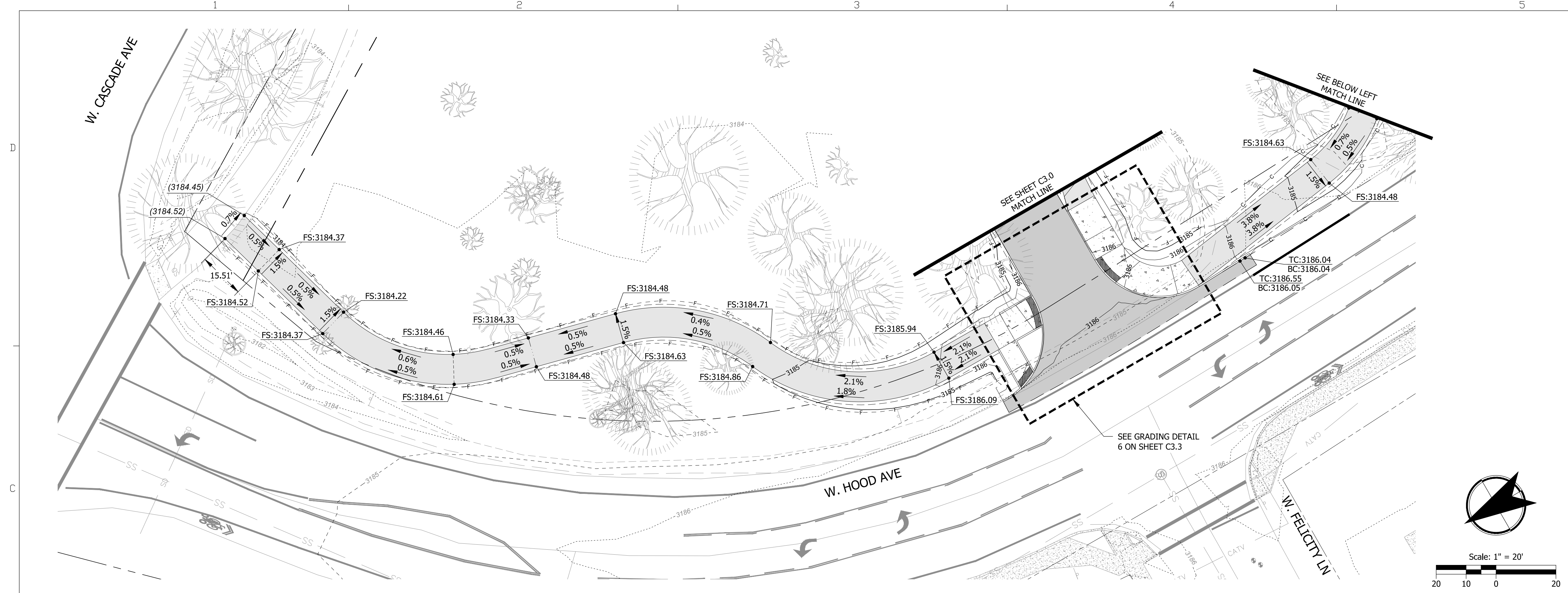
Grading Plan - Mobility Hub

EAST PORTAL MOBILITY HUB IMPROVEMENTS

SCALE AS SHOWN

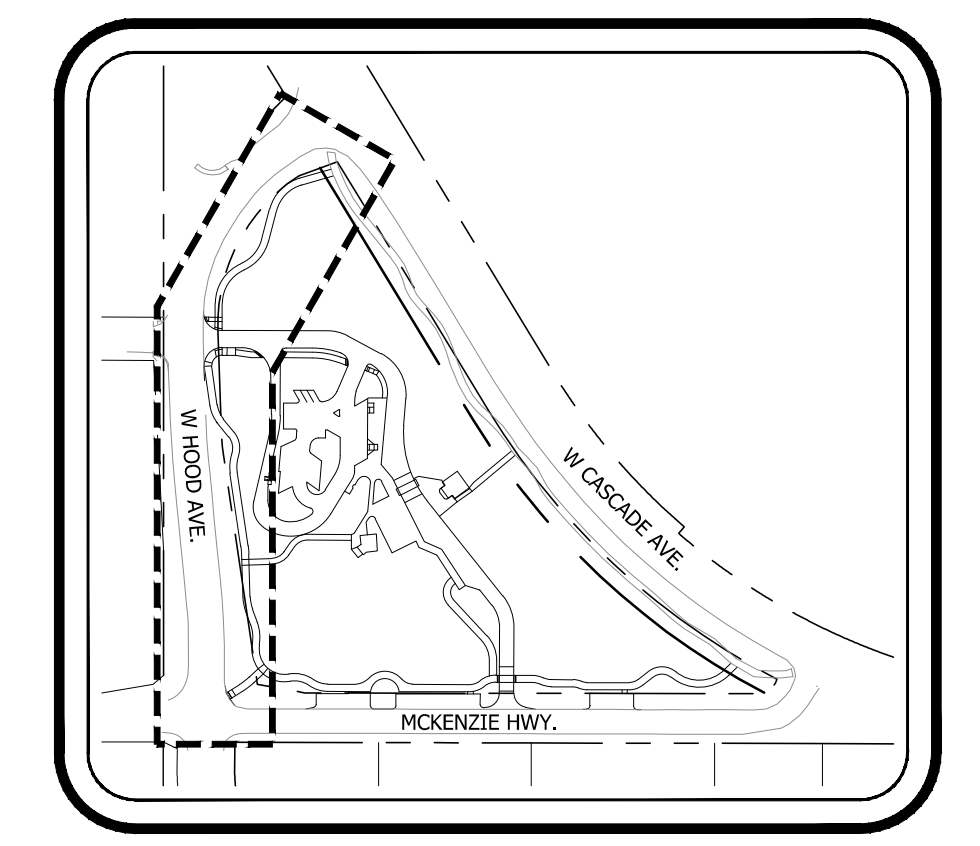
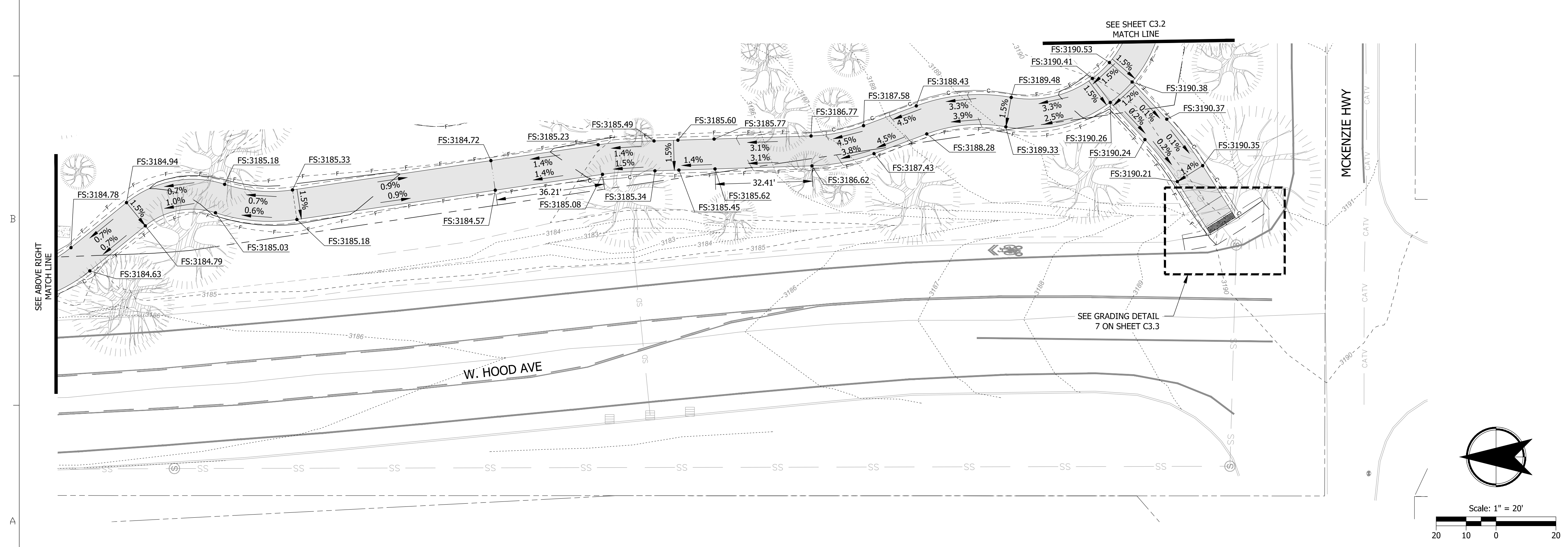
DRAWING NAME

SHEET **C3.0**



SPOT ELEVATION ABBREVIATIONS

- R - RIM
- FFE - FINISHED FLOOR ELEVATION
- TC - TOP BACK OF CURB
- BC - BOTTOM FACE OF CURB
- FS - FINISHED SURFACE
- FG - FINISHED GROUND (TOP OF TOPSOIL)
- TDR - TOP OF DRAIN ROCK
- () - EXISTING ELEVATION



KEY MAP
SCALE: NTS

REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES
 851 SW 6TH AVENUE, SUITE 600
 PORTLAND, OR 97204
 P 503.228.5230 F 503.273.8169

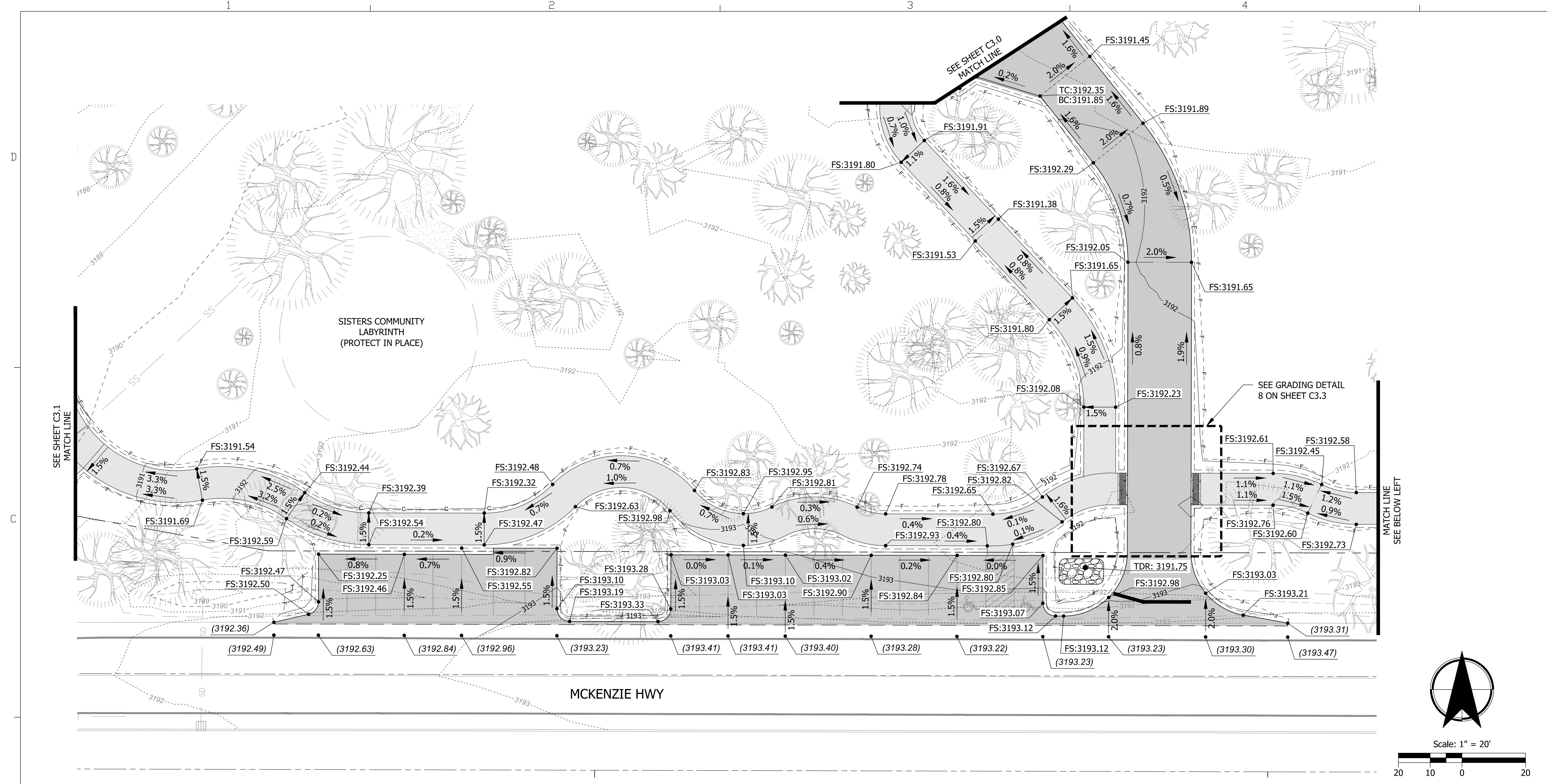
REGISTERED PROFESSIONAL ENGINEER
 PRELIMINARY
 NOT FOR CONSTRUCTION
 CASSELL / QUICK MOUNT GONVERLY
 EXPIRES: 12/31/24

DESIGN	RPM
DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024

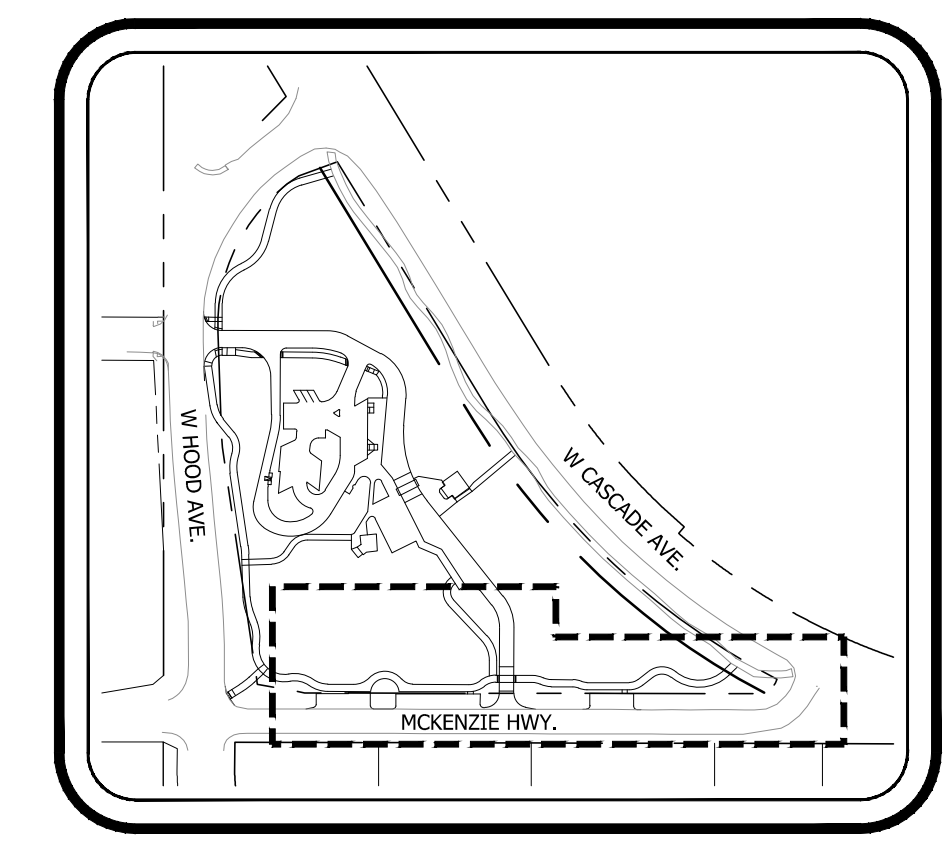
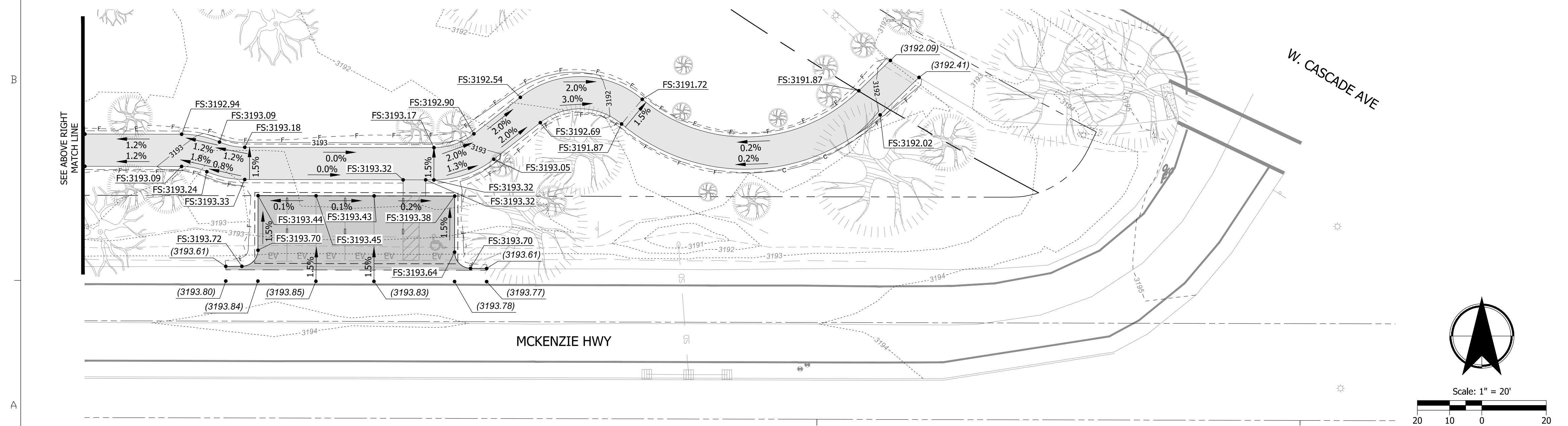
CITY OF SISTERS
 EST. 1946

Grading Plan - W. Hood Ave
 EAST PORTAL MOBILITY HUB IMPROVEMENTS

SCALE: AS SHOWN
 DRAWING NAME:
 SHEET: **C3.1**



- SPOT ELEVATION ABBREVIATIONS**
- R - RIM
 - FFE - FINISHED FLOOR ELEVATION
 - TC - TOP BACK OF CURB
 - BC - BOTTOM FACE OF CURB
 - FS - FINISHED SURFACE
 - FG - FINISHED GROUND (TOP OF TOPSOIL)
 - TDR - TOP OF DRAIN ROCK
 - () - EXISTING ELEVATION

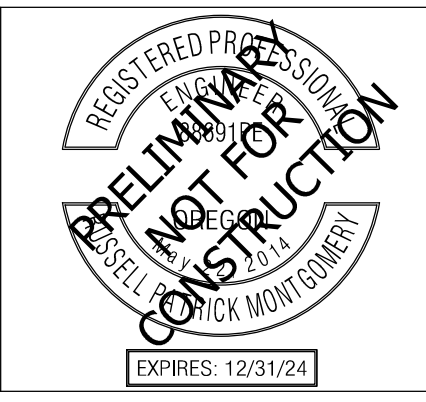


REV.	DESCRIPTION	APPR.	DATE

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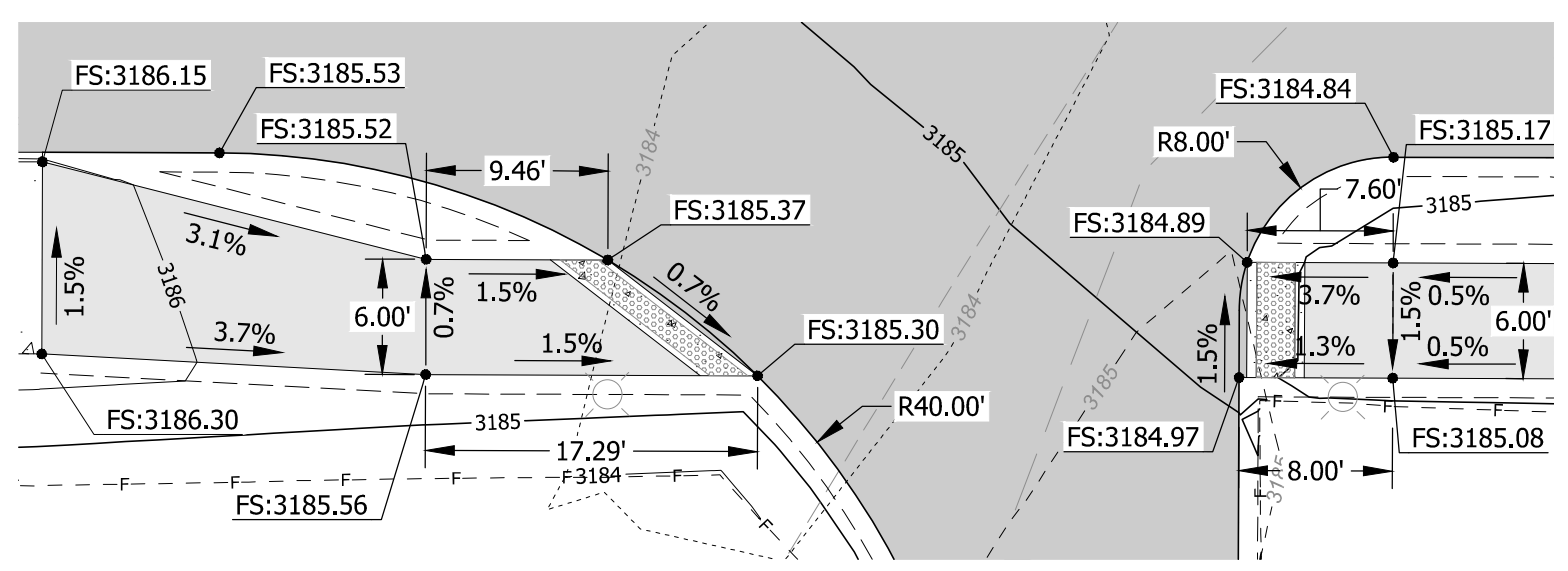
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 DATE: June 2024



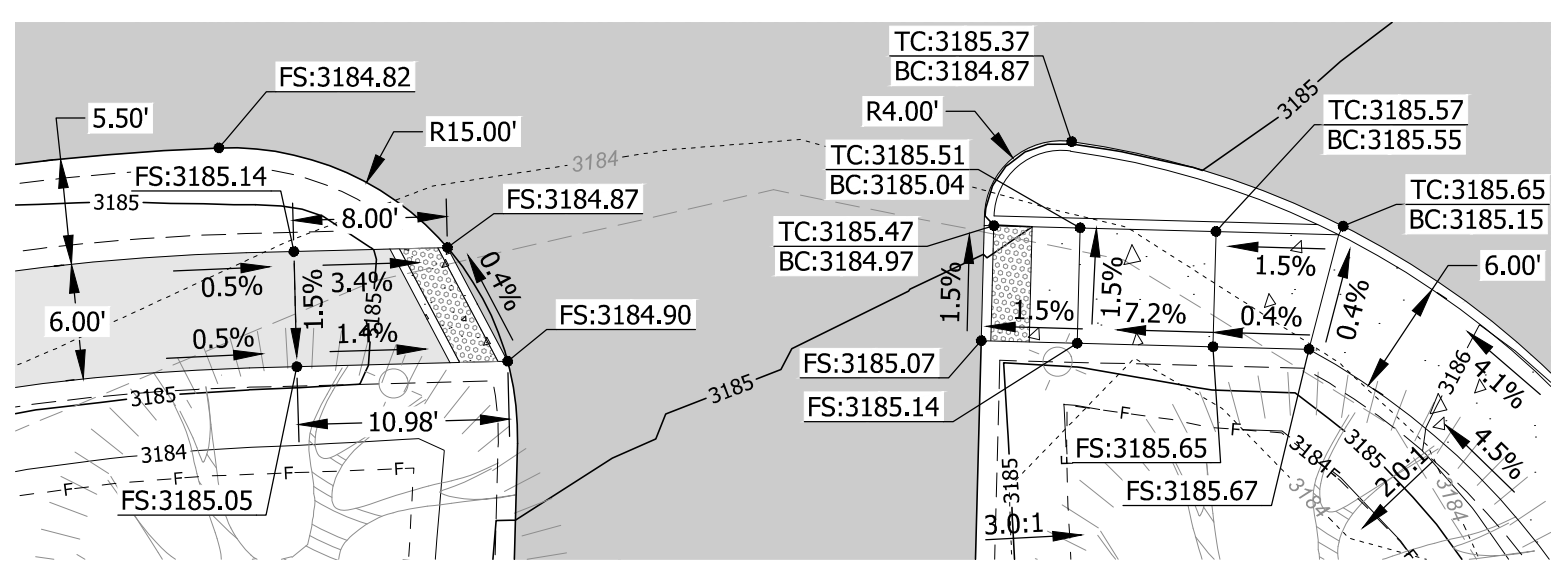
Grading Plan - McKenzie Hwy

EAST PORTAL MOBILITY HUB IMPROVEMENTS

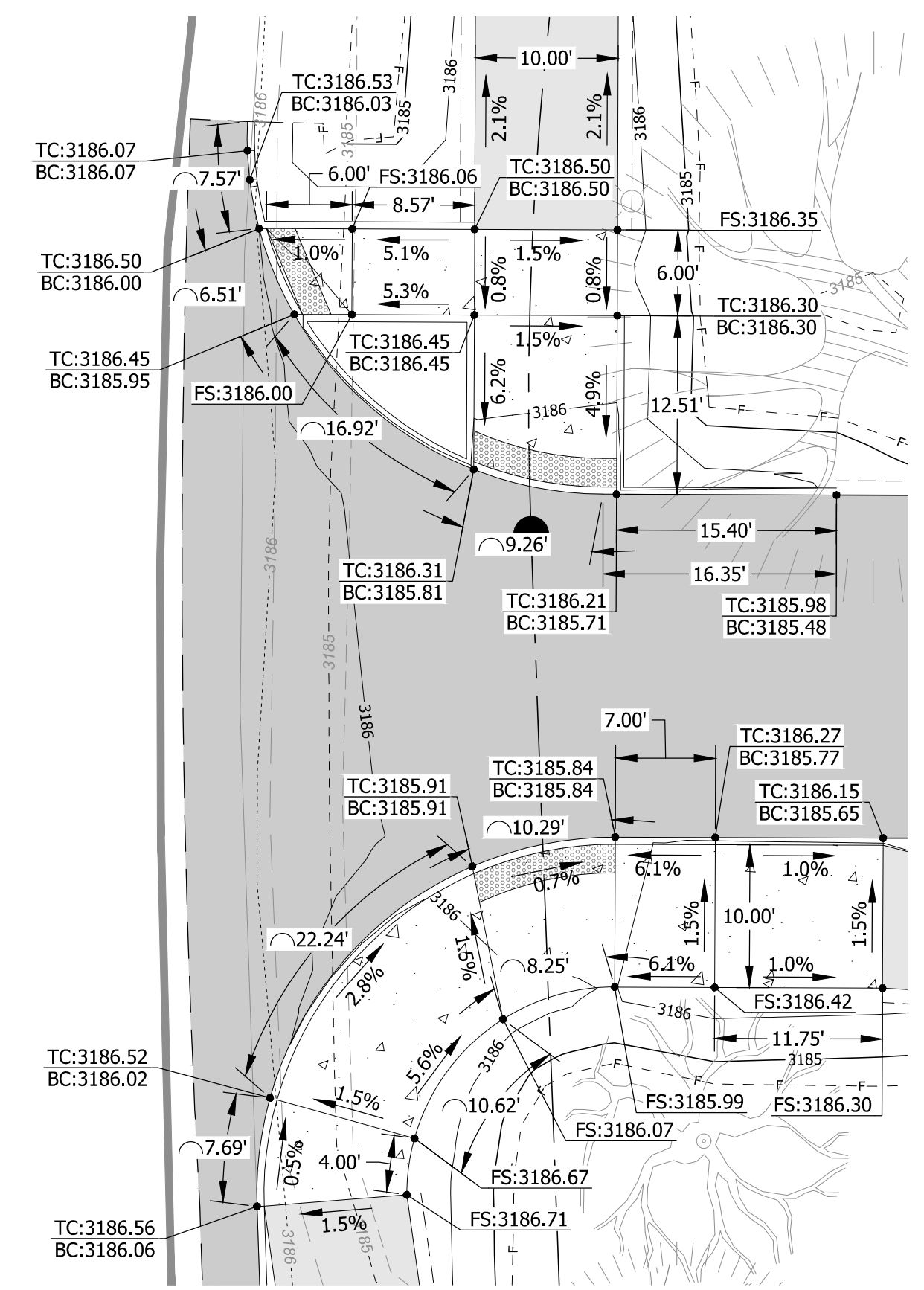
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 DRAWING NAME:
 SHEET: **C3.2**



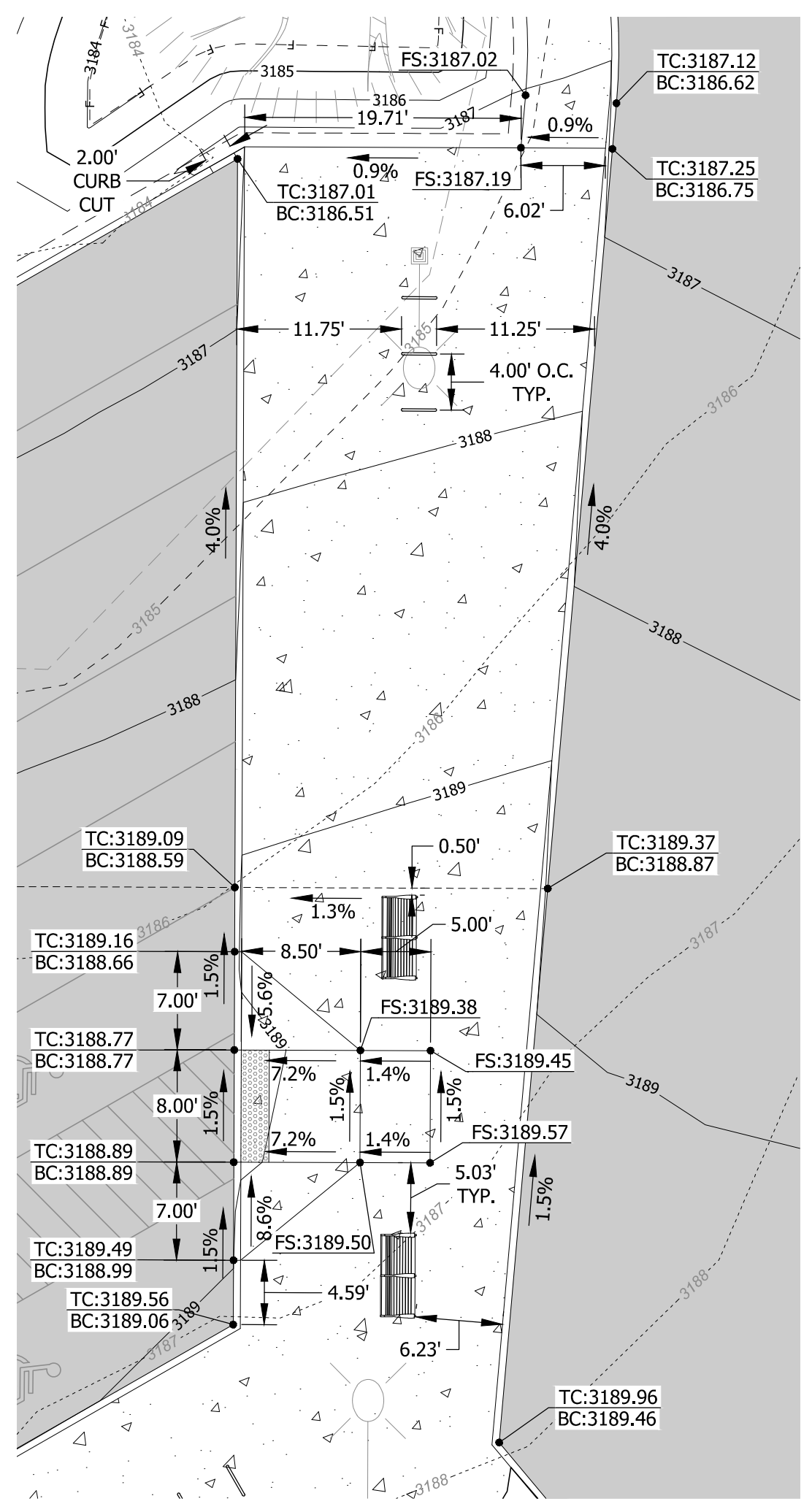
1 DUMP STATION CROSSING GRADING DETAIL
SCALE: 1" = 10'



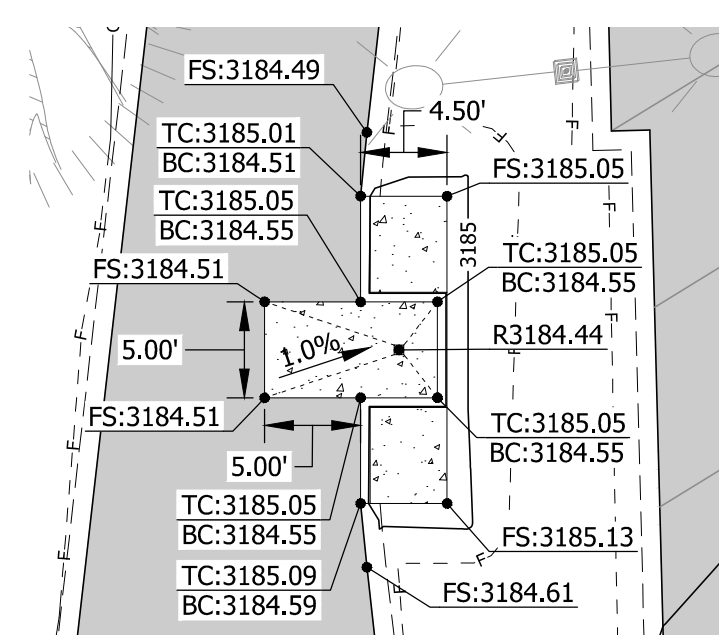
2 PARKING ENTRANCE CROSSING GRADING DETAIL
SCALE: 1" = 10'



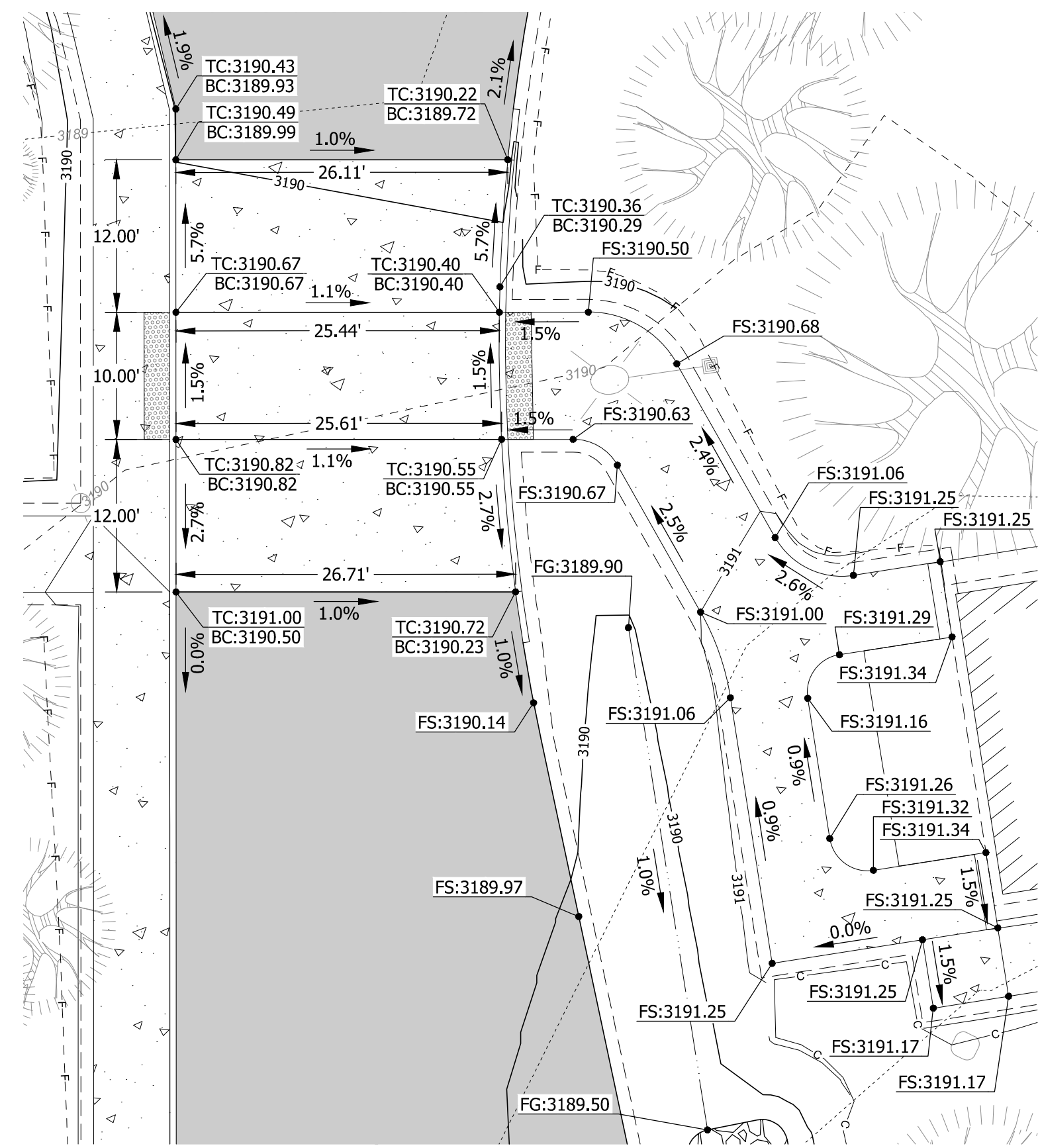
6 SITE ENTRANCE GRADING DETAIL
SCALE: 1" = 10'



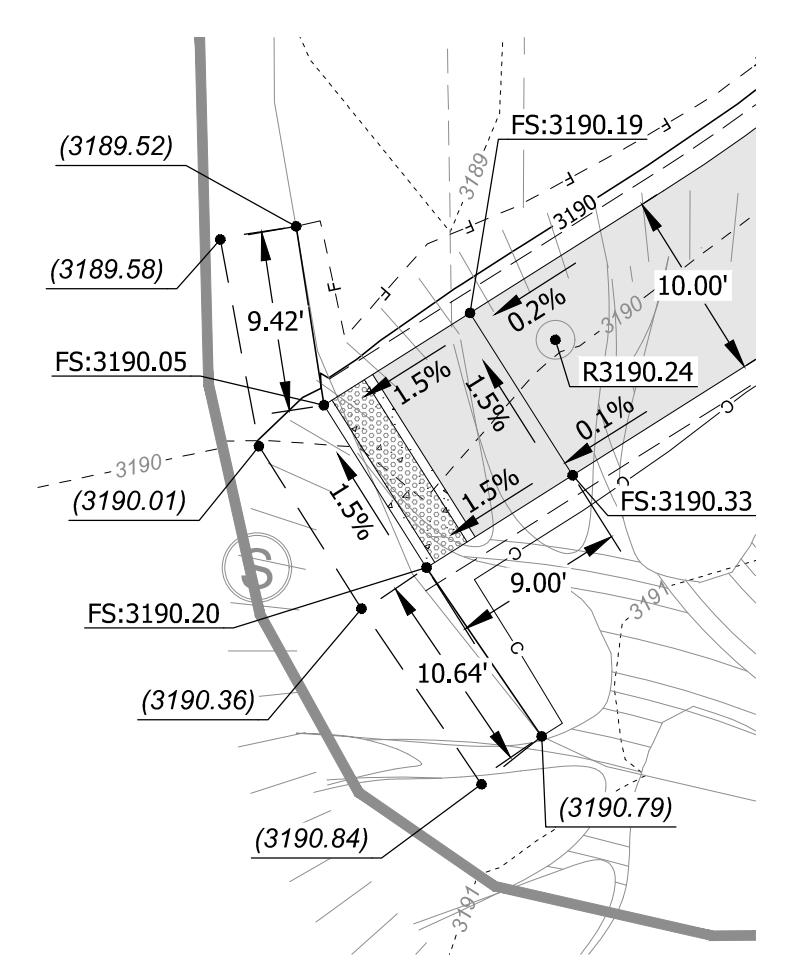
3 CENTRAL PLAZA GRADING DETAIL
SCALE: 1" = 10'



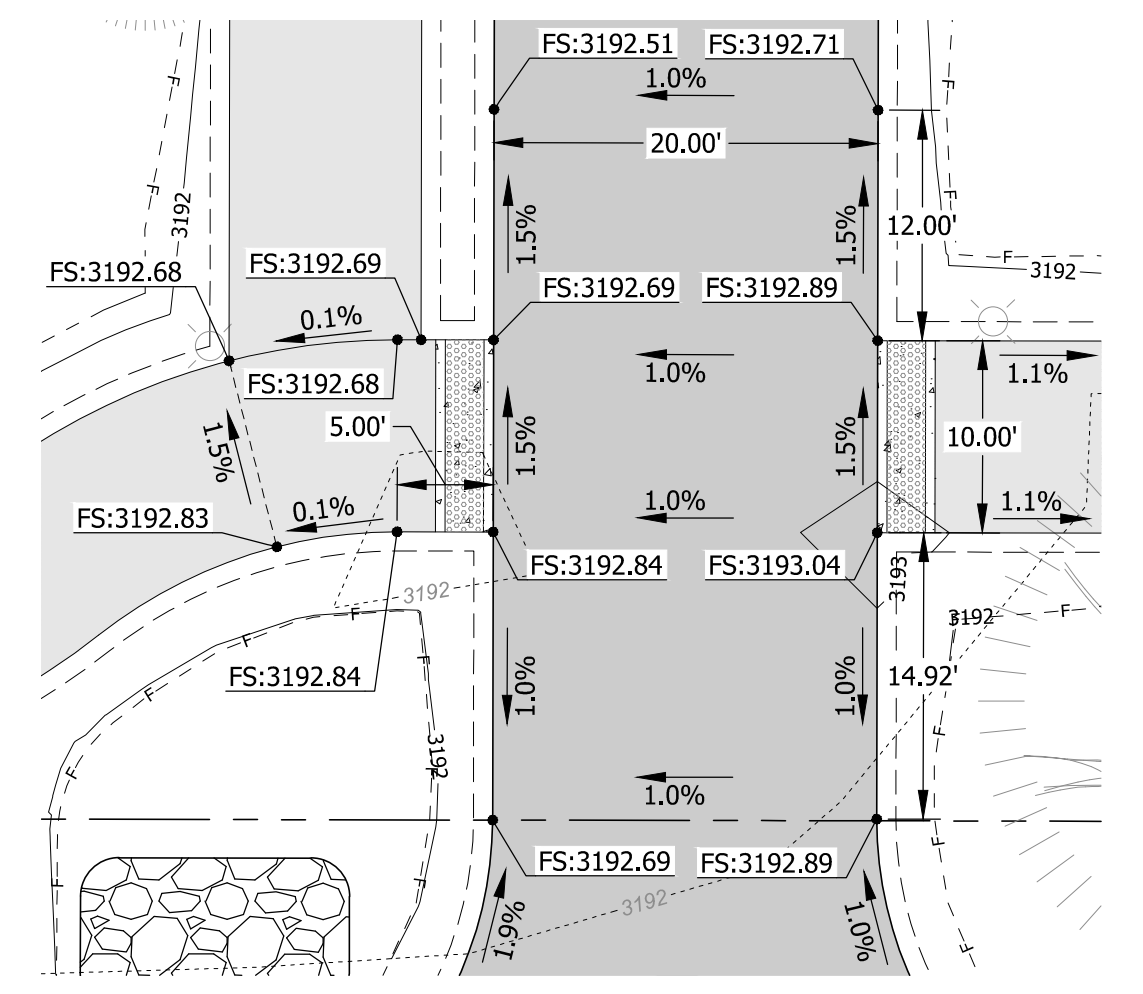
4 DUMP STATION GRADING DETAIL
SCALE: 1" = 10'



5 RESTROOM RAISED CROSSING GRADING DETAIL
SCALE: 1" = 10'



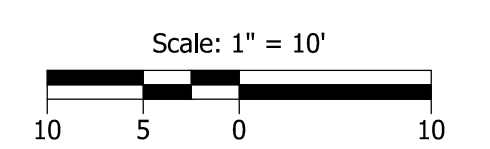
7 SW CURB RAMP GRADING DETAIL
SCALE: 1" = 10'



8 BUS EXIT RAISED CROSSING GRADING DETAIL
SCALE: 1" = 10'

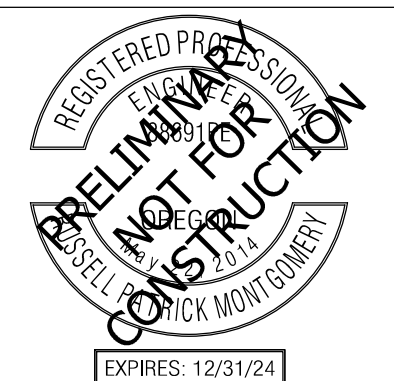
SPOT ELEVATION ABBREVIATIONS

- R - RIM
- FFE - FINISHED FLOOR ELEVATION
- TC - TOP BACK OF CURB
- BC - BOTTOM FACE OF CURB
- FS - FINISHED SURFACE
- FG - FINISHED GROUND (TOP OF TOPSOIL)
- () - EXISTING ELEVATION



REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

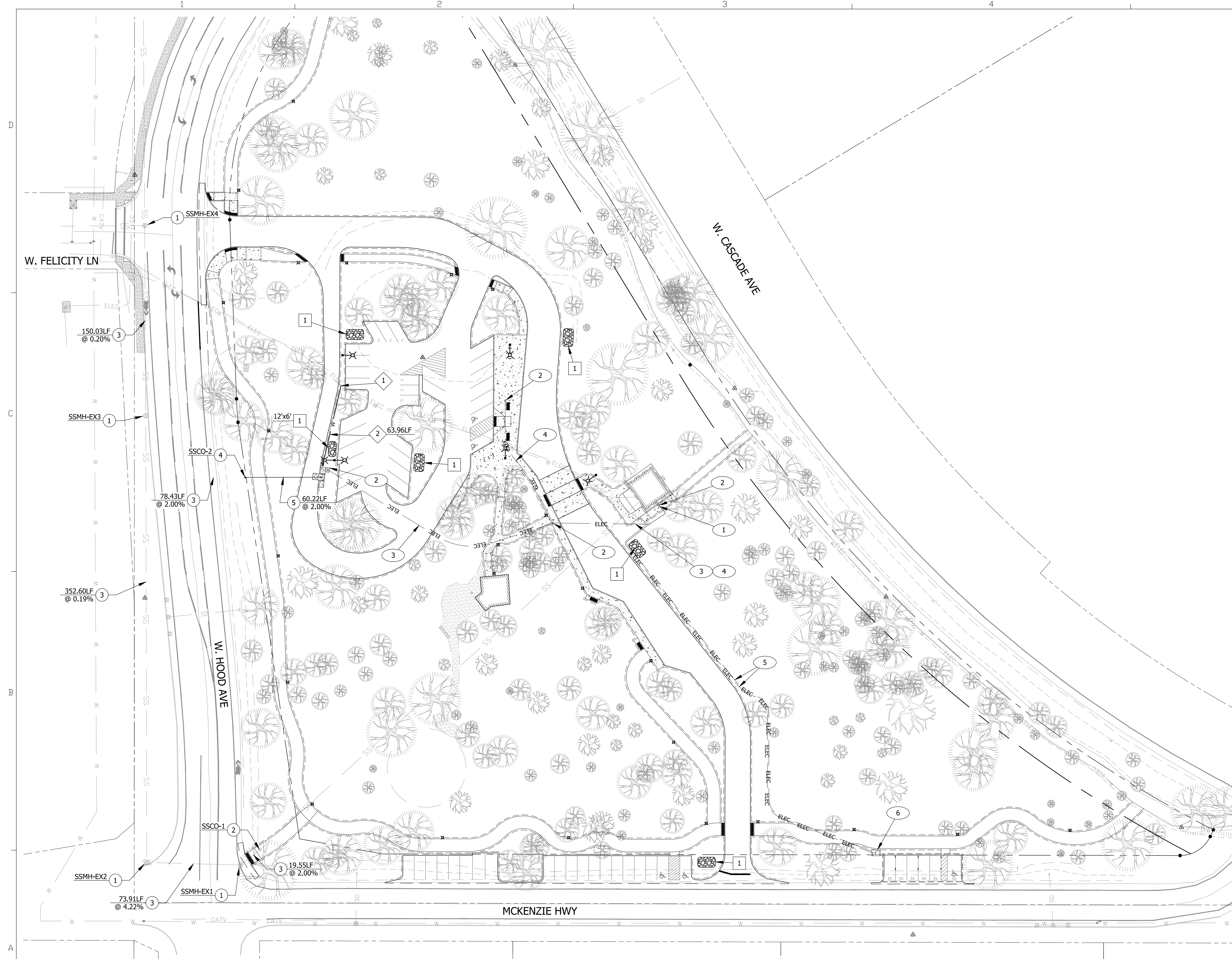


DESIGN	RPM
DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024



Grading Details
EAST PORTAL MOBILITY HUB IMPROVEMENTS

SCALE: AS SHOWN
DRAWING NAME
SHEET: C3.3



SANITARY SEWER CONSTRUCTION NOTES

- 1 EXISTING SANITARY SEWER MANHOLE, PROTECT IN PLACE
- 2 EXISTING SANITARY SEWER CLEANOUT, ADJUST FRAME AND COVER TO FINISHED GRADE
- 3 EXISTING SANITARY SEWER PIPE, LENGTH AND SLOPE PER PLAN
- 4 CONNECT TO EXISTING 6" SANITARY SEWER STUB, INSTALL 6" SANITARY SEWER CLEANOUT PER STRUCTURE DATE TABLE ON THIS SHEET AND CITY OF SISTERS STANDARD DETAIL 3-7 ON SHEET C5.0
- 5 INSTALL 6" PVC SANITARY SEWER PIPE BEDDING AND BACKFILL PER CITY OF SISTERS STANDARD DETAIL 1-1 ON SHEET C5.0

SANITARY SEWER MANHOLE DATA

SSMH-EX1
RIM = 3190.28
IE IN (6" NE) = 3181.38
IE OUT (8" W) = 3181.38

SSMH-EX2
RIM = 3189.86
IE IN (8" E) = 3178.26
IE OUT (12" N) = 3178.26

SSMH-EX3*
RIM = 3186.46
IE IN (12" S) = 3177.57
IE OUT (12" N) = 3177.57

SSMH-EX4
RIM = 3186.18
IE IN (12" S) = 3177.28
IE IN (8" W) = 3177.28
IE OUT (12" N) = 3177.28

SANITARY SEWER CLEANOUT DATA

SSCO-EX1
RIM = 3189.95
IE IN (6"NE) = 3181.77
IE OUT (6" SW) = 3181.77

SSCO-2
RIM = 3184.31
IE IN (6" E) = 3179.24
IE OUT (6" W) = 3179.24

*INVERT NOT SURVEYED, CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION

WATER CONSTRUCTION NOTES

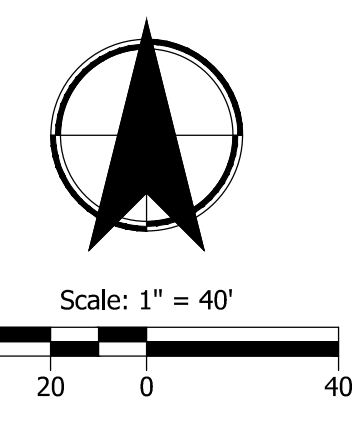
- 1 CONNECT TO EXISTING 2" DOMESTIC WATER SERVICE WITH A 2"x2" TEE AND 2" BALL VALVE ISOLATION IN BOX PER CURRENT PLUMBING CODE. NOTIFY THE CITY PROJECT MANAGER A MINIMUM OF TWO (2) WORKING DAYS BEFORE WATER SHUT-OFF IS NEEDED
- 2 INSTALL 2" PEX, SERVICE LINE. CUT AND CAPPED MARKED WITH 2x4, MINIMUM 36" COVER, BEDDING AND BACKFILL PER CITY OF SISTERS STANDARD DETAIL 1-1 ON SHEET C5.0

STORM DRAINAGE CONSTRUCTION NOTES

- 1 CONSTRUCT INFILTRATION BASIN, SEE GRADING PLAN FOR TOP OF DRAIN ROCK ELEVATION, SEE DETAIL 4 ON SHEET C5.2

ELECTRICAL CONSTRUCTION NOTES

- 1 INSTALL 20 AMP CIRCUIT TO PROPOSED DUMP STATION. CONDUIT LOCATION SHOWN IS APPROXIMATE ONLY. FINAL LOCATION TO BE DETERMINED IN THE FIELD AND APPROVED BY THE INSPECTOR. VERIFY EXISTING SERVICE PANEL CAN ACCOMMODATE DUMP STATION. PROVIDE PROPOSED BUILDING ENTRANCE PLAN FOR CONDUIT AND OBTAIN APPROVAL FROM CITY PRIOR TO INSTALLATION. CONDUIT ENTRY MUST MEET BUILDING AESTHETICS.
- 2 INSTALL JUNCTION BOX.
- 3 INSTALL 2" CONDUIT WITH POLY PULL LINE FOR 20 AMP CIRCUIT TO DUMP STATION.
- 4 INSTALL 2" SPARE CONDUIT WITH POLY PULL LINE.
- 5 INSTALL (2) 3" CONDUIT WITH POLY PULL LINE FOR ELECTRICAL SERVICE TO FUTURE EV CHARGING.
- 6 INSTALL 644 VAULT.

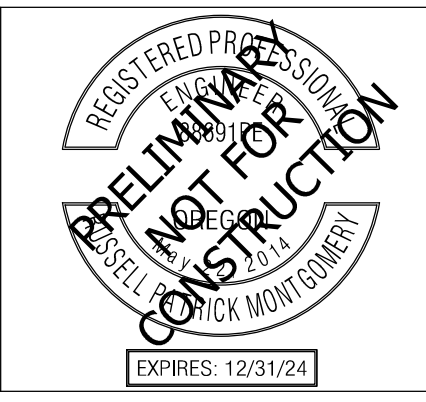


REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES

851 SW 6TH AVENUE, SUITE 600
PORTLAND, OR 97204
P 503.228.5230 F 503.273.8169



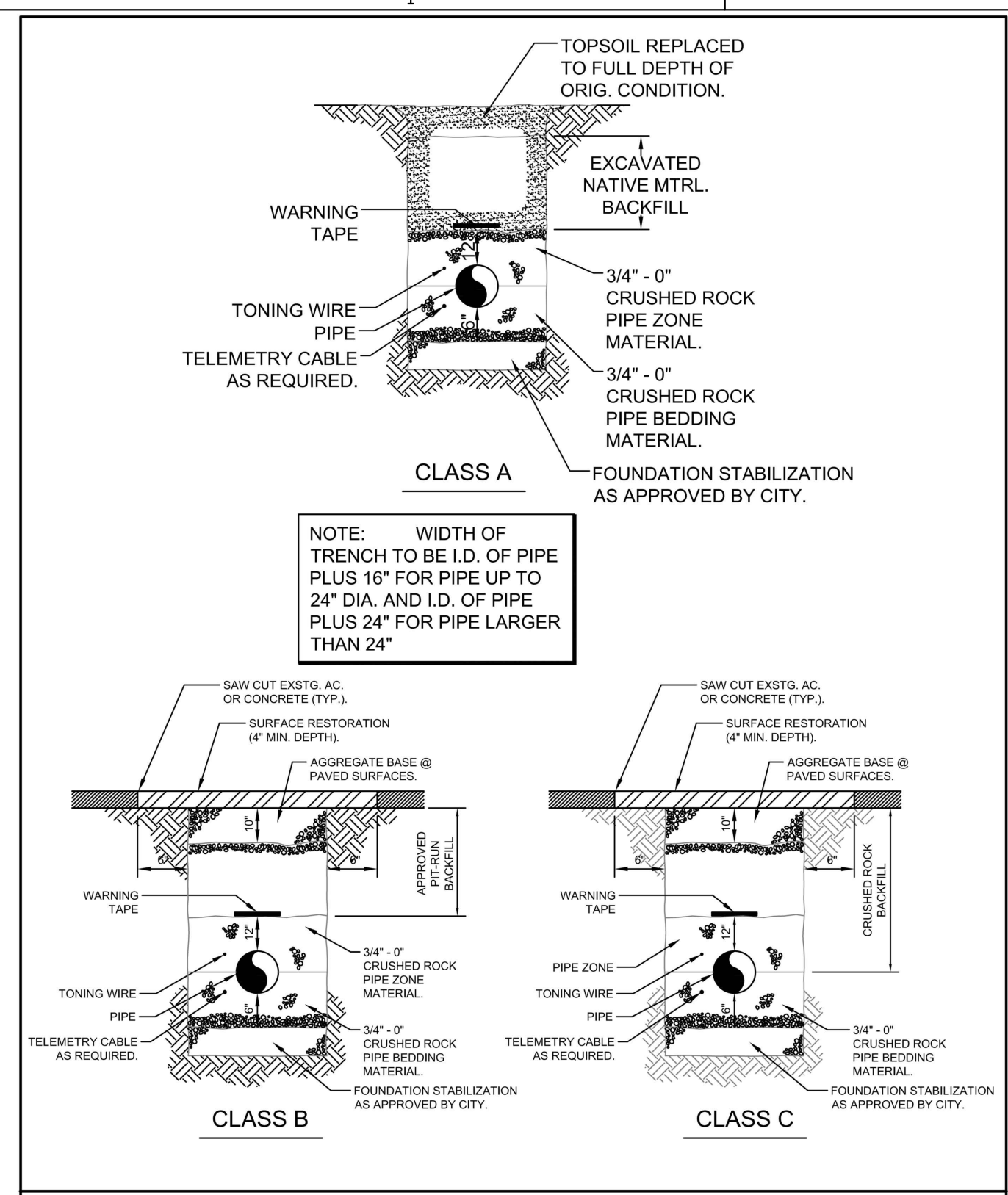
DESIGN	RPM
DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024



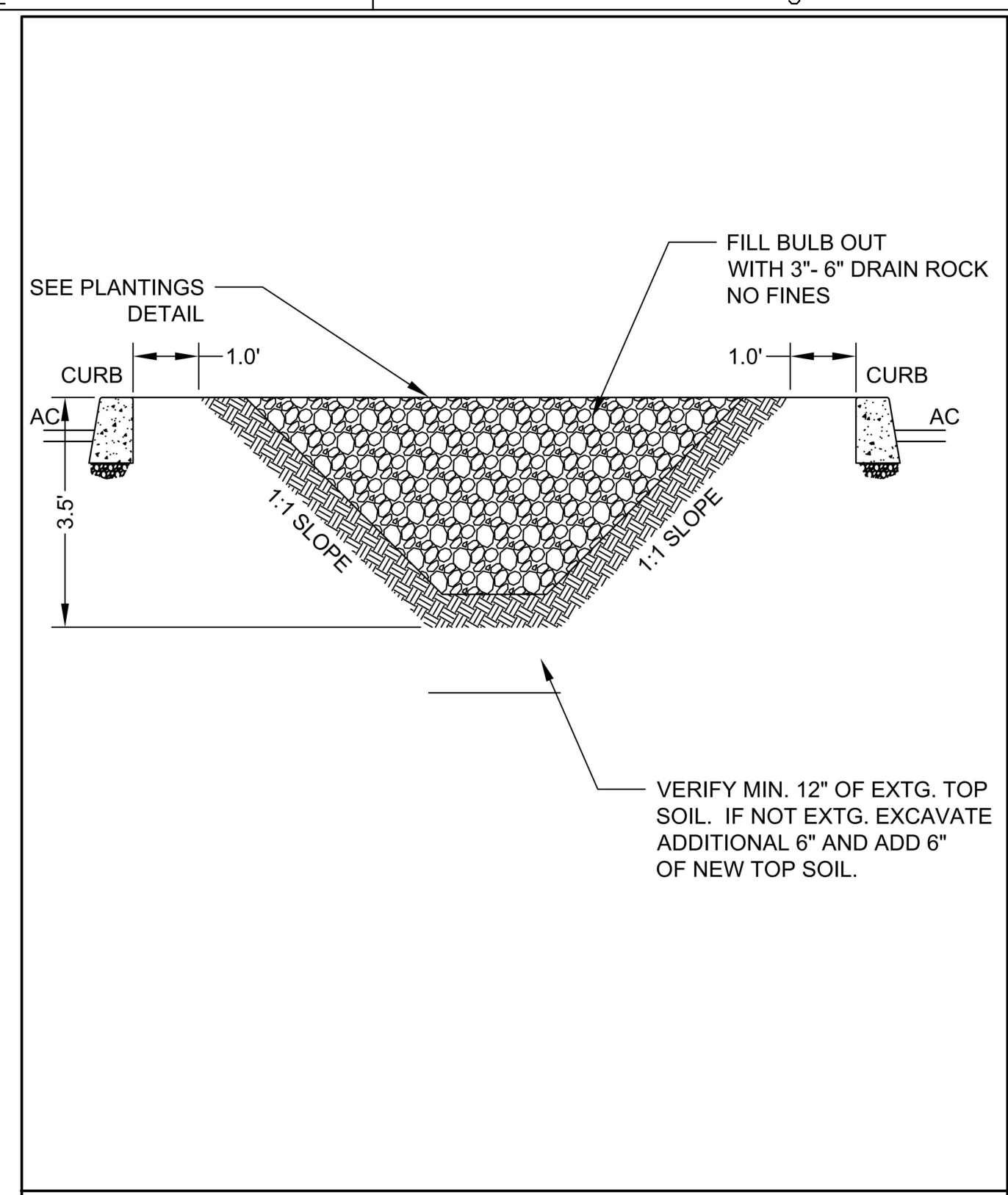
Composite Utility Plan

EAST PORTAL MOBILITY HUB IMPROVEMENTS

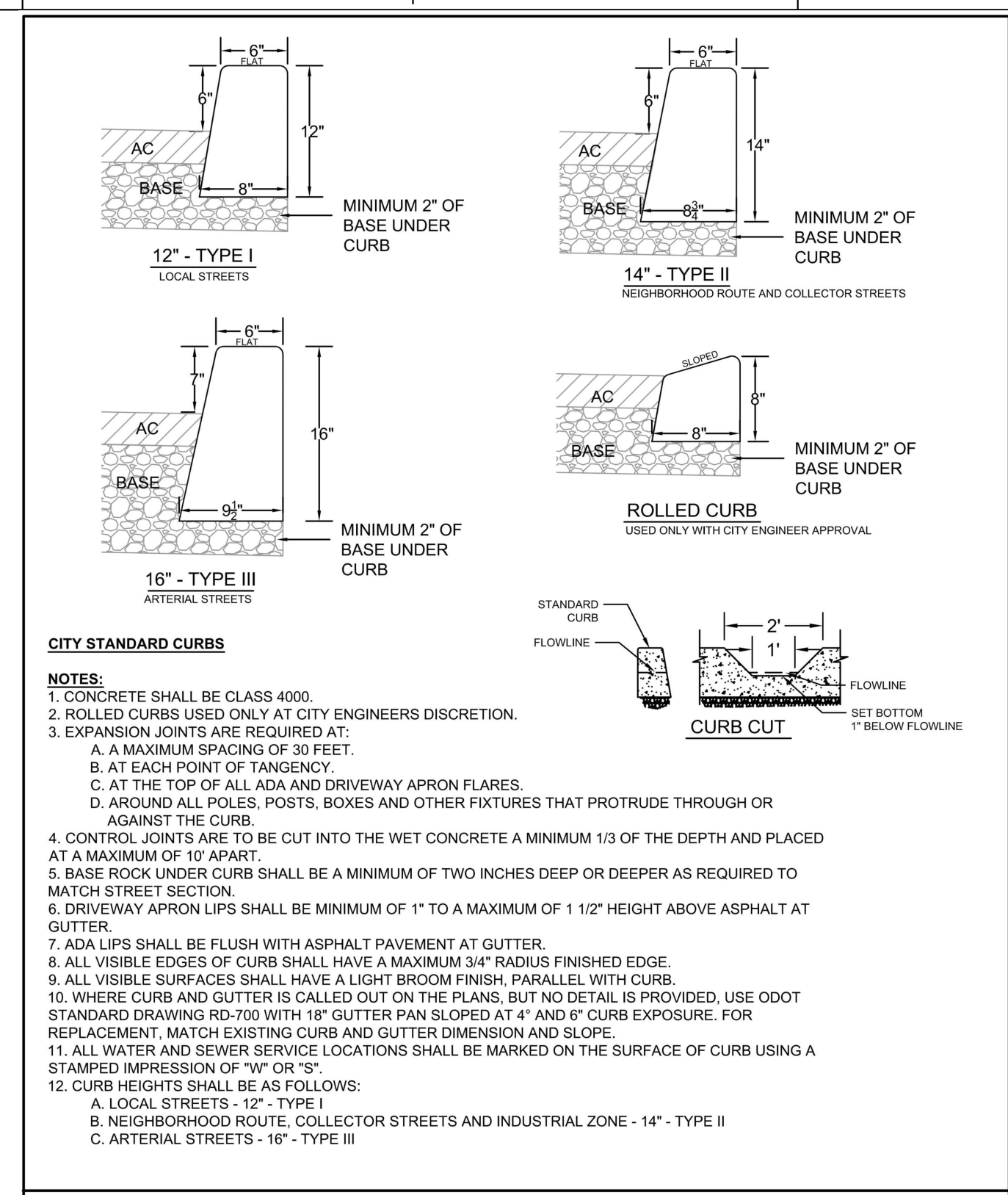
SCALE	AS SHOWN
DRAWING NAME	
SHEET	C4.0



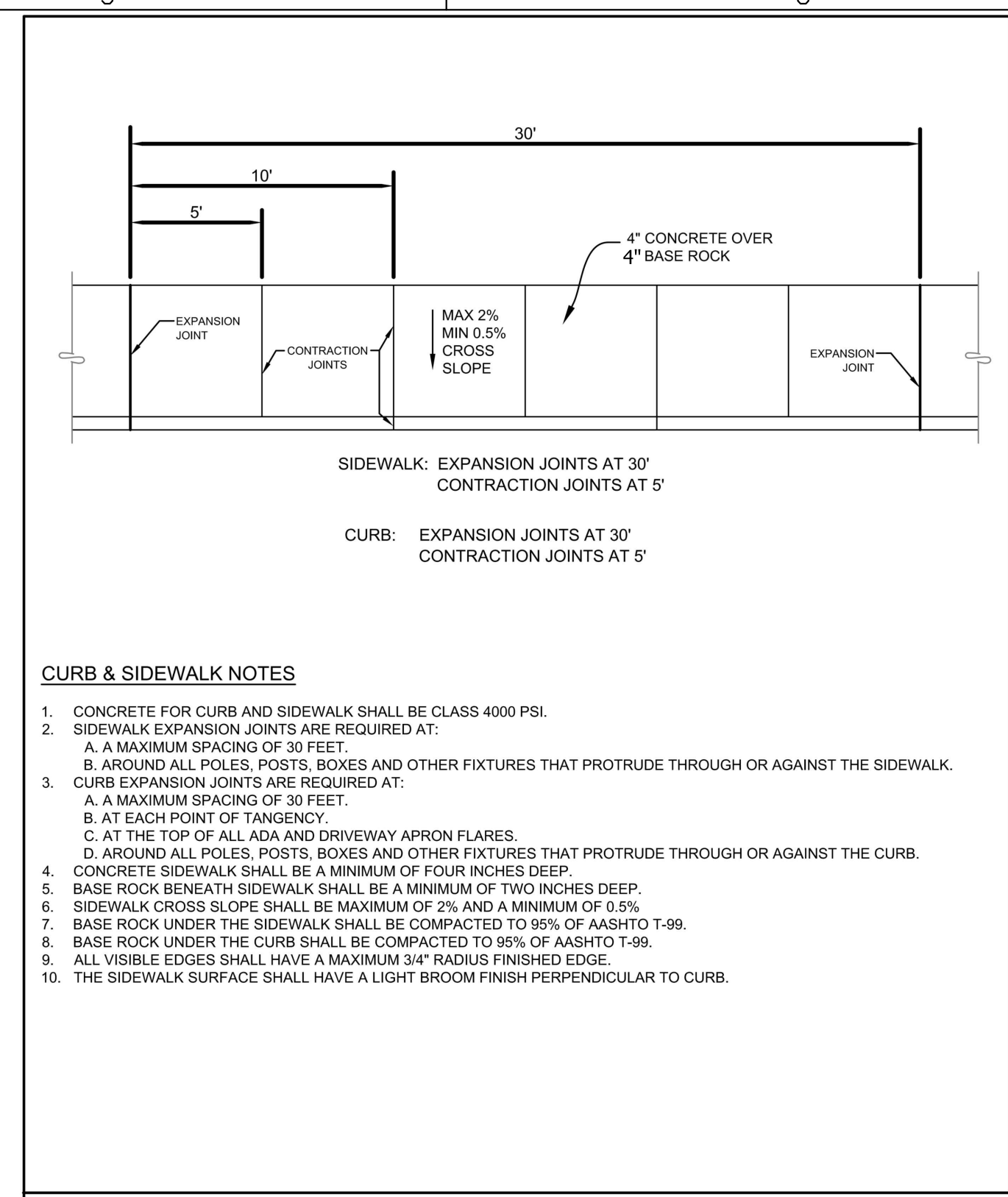
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	STANDARD TRENCHES	DRAWN BY: EH	APPROVED BY: PB
		REVISION DATE: 2/10/2020	



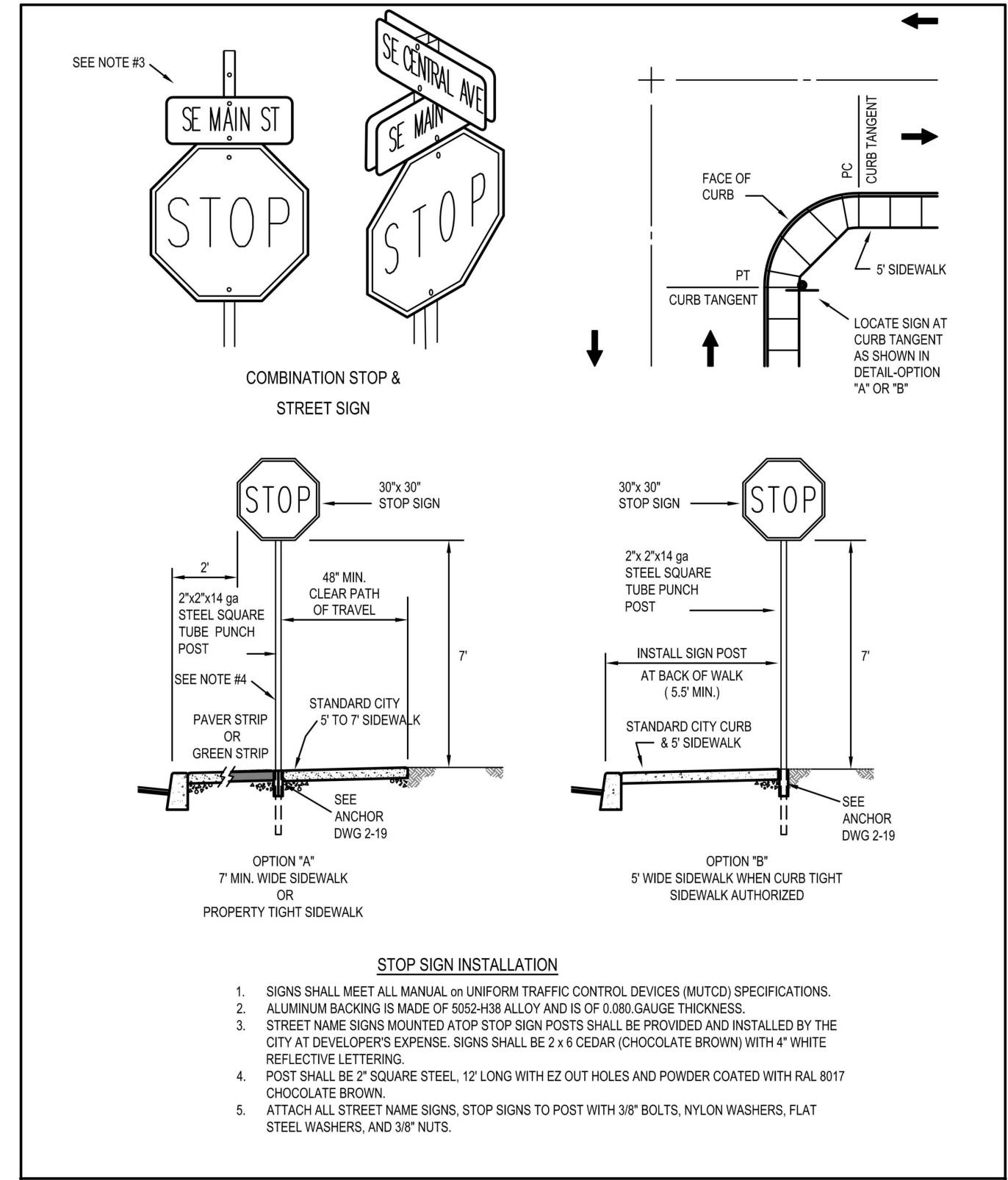
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	TYPICAL BULB OUT SWALE DETAIL	DRAWN BY: EH	APPROVED BY: PB
		REVISION DATE: 2/10/2020	



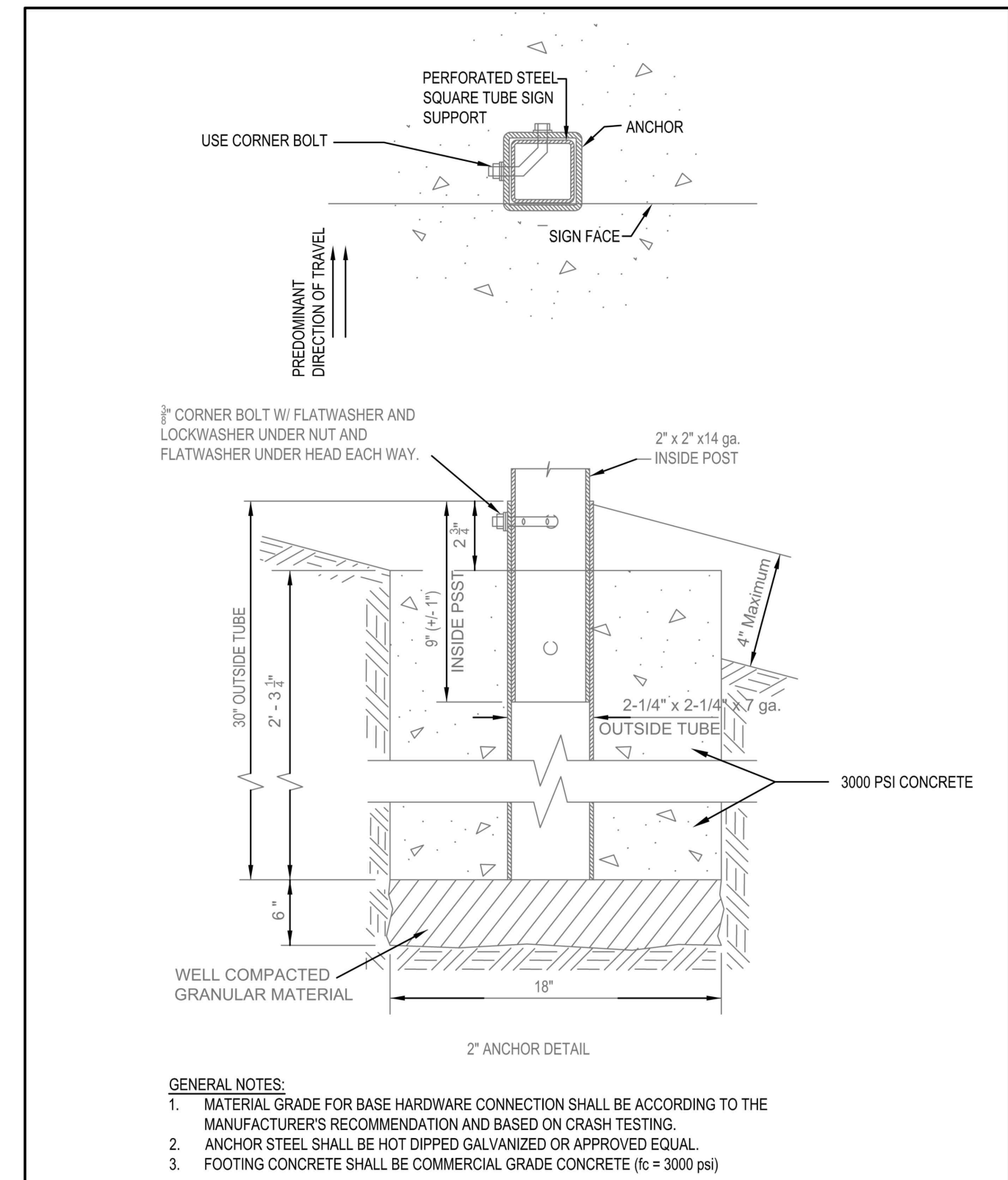
	City of Sisters • Standard Detail	SCALE: NONE	DRAWING NO. 2-11
	STANDARD PCC CURB AND GUTTER SECTION	DRAWN BY: EH	APPROVED BY: PB
		REVISION DATE: 2/10/2020	



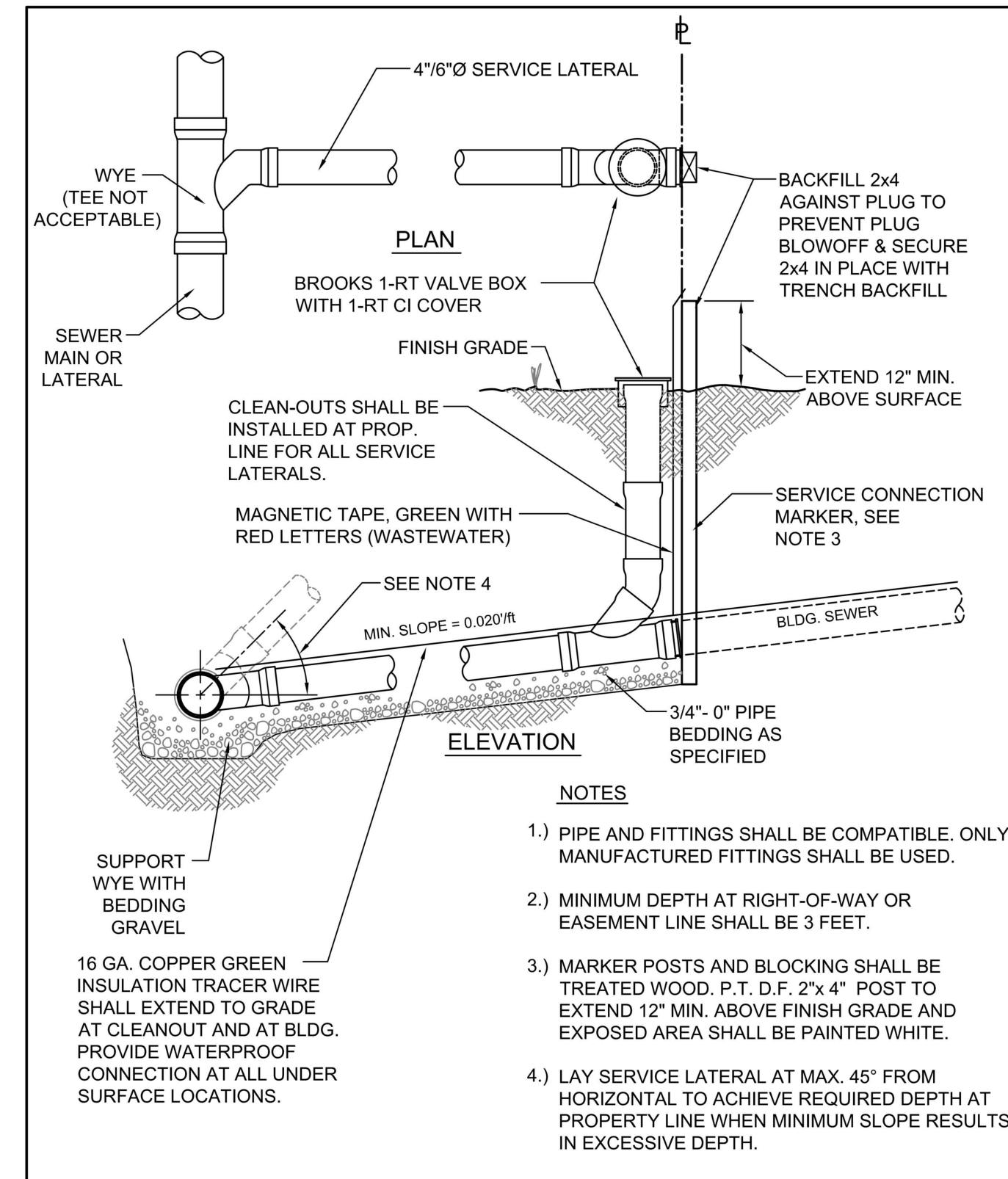
	City of Sisters • Standard Detail	SCALE: NONE	MODIFIED DRAWING NO. 2-12
	EXPANSION AND CONTRACTION JOINT DETAIL	DRAWN BY: EH	APPROVED BY: PB
		REVISION DATE: 2/10/2020	



	City of Sisters • Standard Detail	SCALE: NONE	DRAWING NO. 2-20
	TYPICAL STOP AND STREET SIGN COMBINATION	DRAWN BY: CTE	APPROVED BY: PB
		REVISION DATE: 2/10/2020	



	City of Sisters • Standard Detail	SCALE: NONE	DRAWING NO. 2-21
	TYPICAL STREET SIGN ANCHOR	DRAWN BY: CTE	APPROVED BY: PB
		REVISION DATE: 2/10/2020	



	City of Sisters • Standard Detail	SCALE: NONE	DRAWING NO. 3-7
	SERVICE LATERAL	DRAWN BY: EH	APPROVED BY: PB
		REVISION DATE: 2/10/2020	

REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES

851 SW 6TH AVENUE, SUITE 600
 PORTLAND, OR 97204
 P 503.228.5230 F 503.273.8169

REGISTERED PROFESSIONAL ENGINEER
 STATE OF OREGON
 LICENSE NO. 12345
 EXPIRES: 12/31/24

DESIGN RPM
 DRAFTED CCT/ATW
 CHECKED AMR
 DATE June 2024

SCALE AS SHOWN

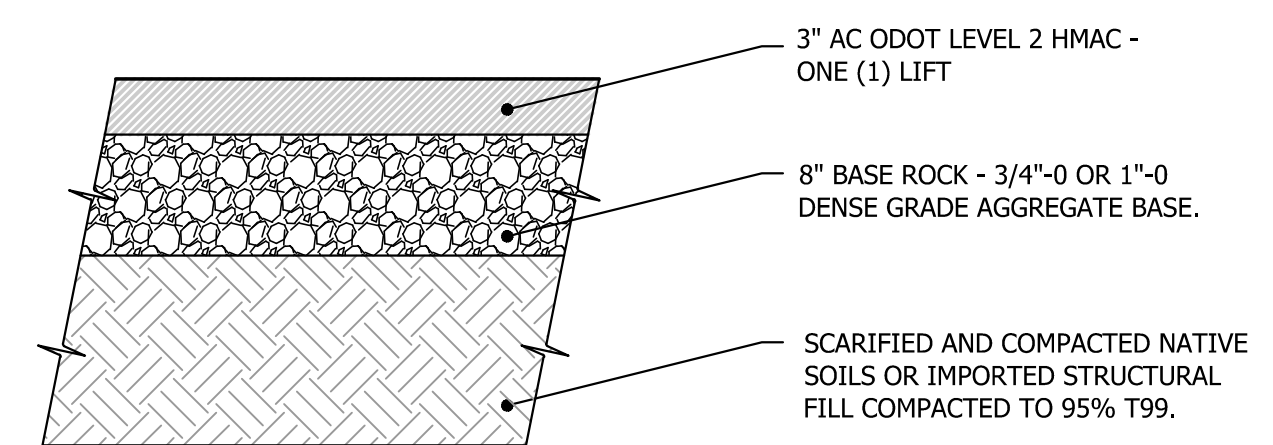
DRAWING NAME

SHEET

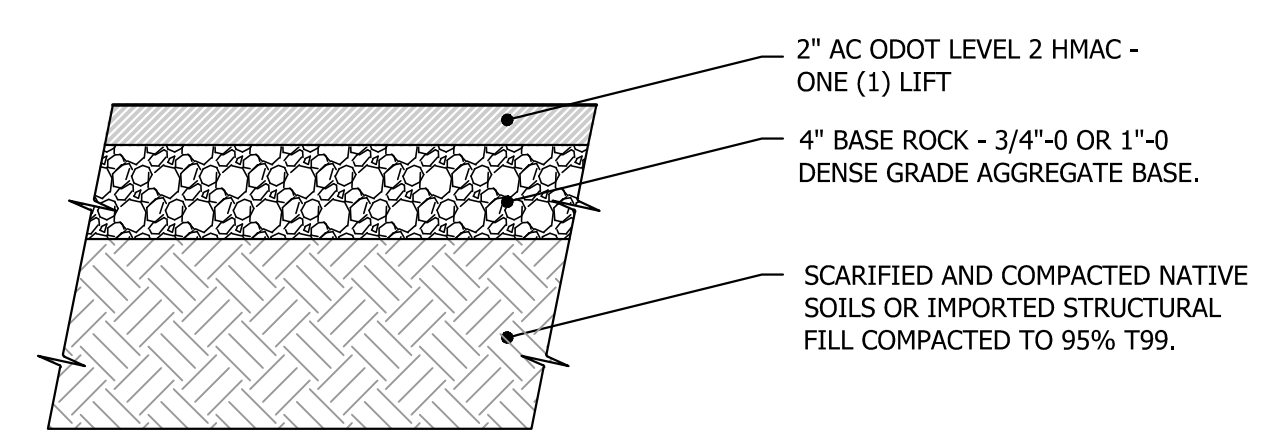
City of Sisters Standard Details

EAST PORTAL MOBILITY HUB IMPROVEMENTS

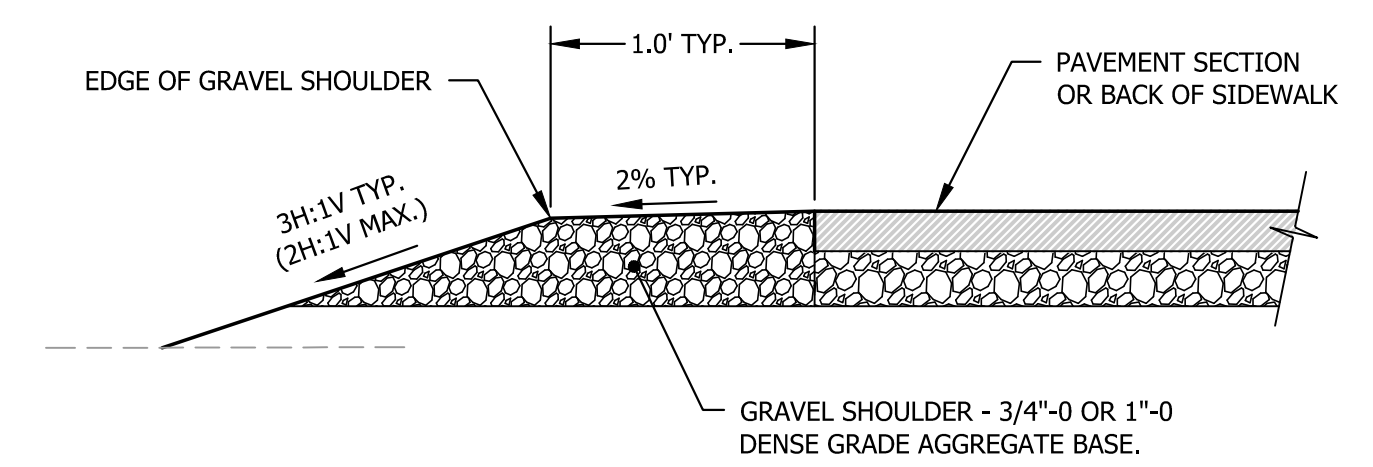
C5.0



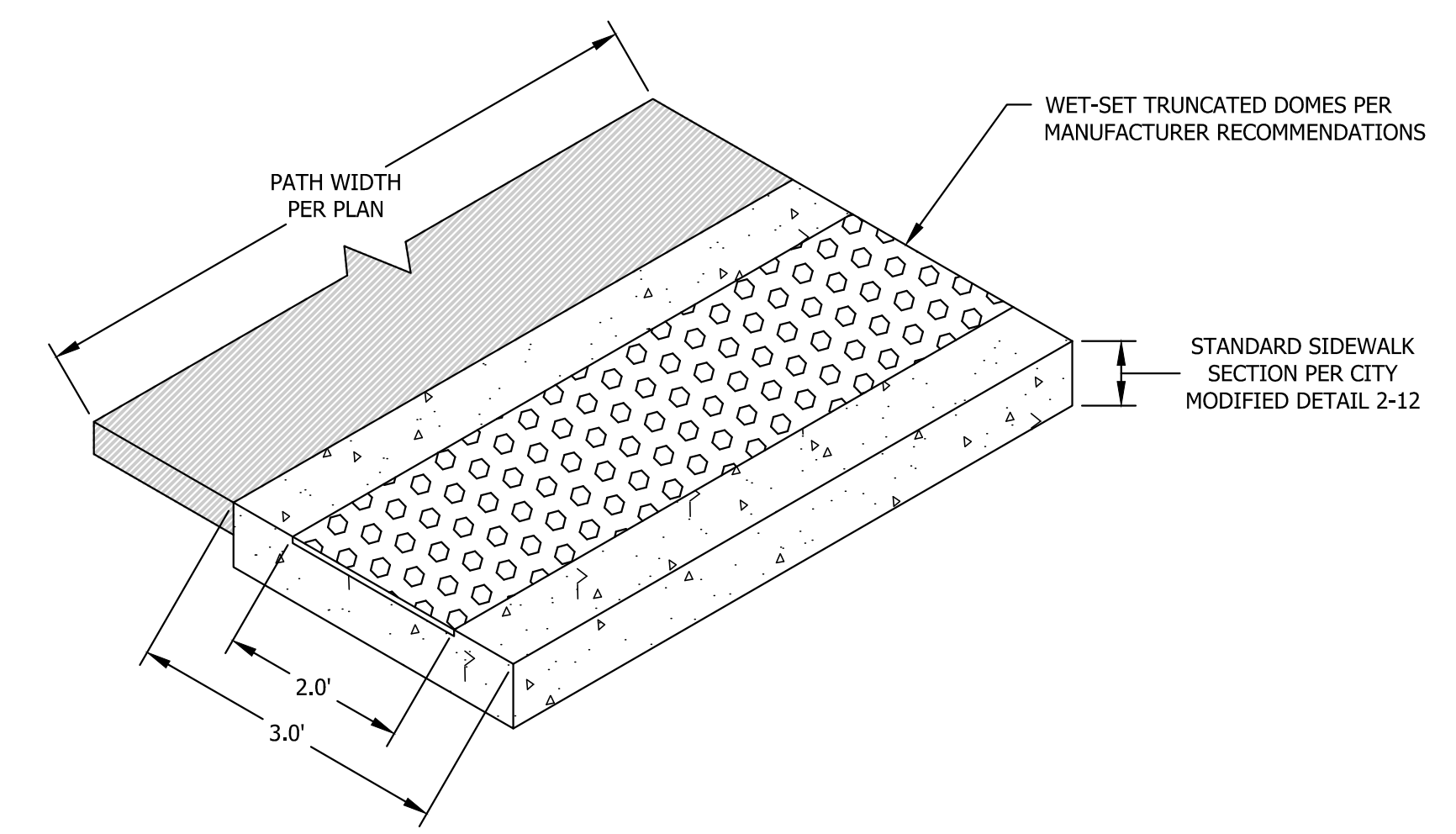
VEHICLE ASPHALT PAVING SECTION
TYPICAL A.C. PAVEMENT STRUCTURAL SECTION
NOT TO SCALE



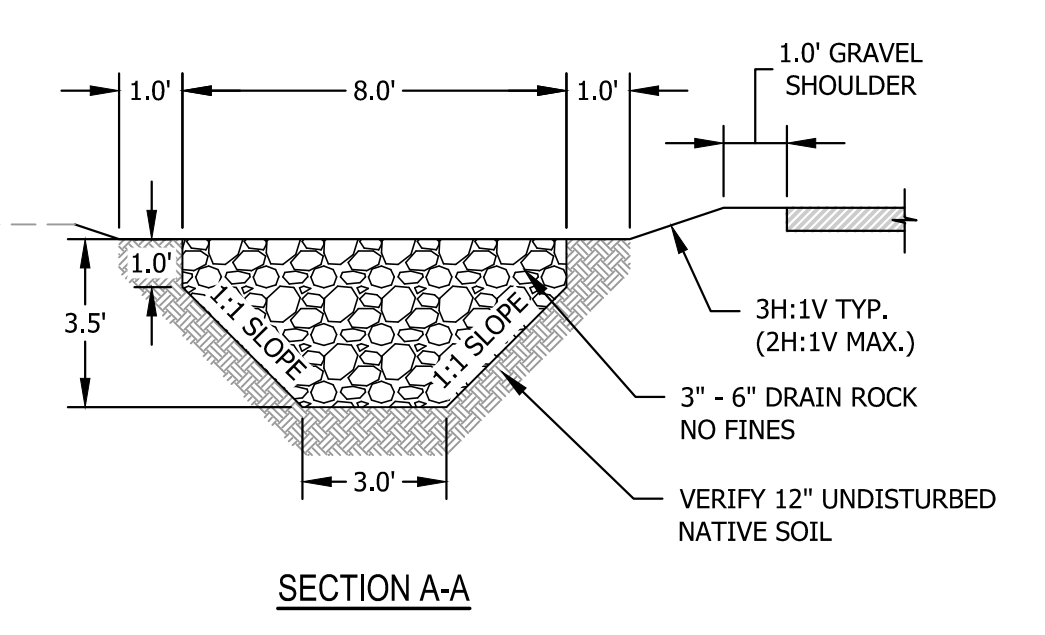
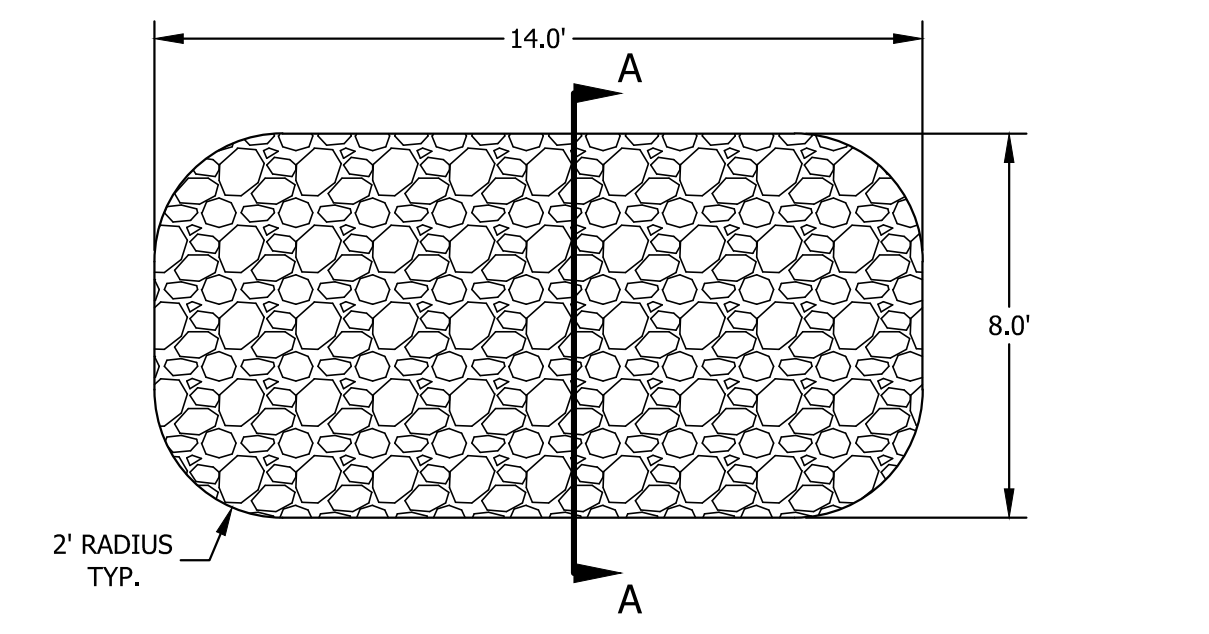
MULTI-USE PATH PAVING SECTION
TYPICAL A.C. PAVEMENT STRUCTURAL SECTION
NOT TO SCALE



2 COMPACTED GRAVEL SHOULDER DETAIL
SCALE: NOT TO SCALE

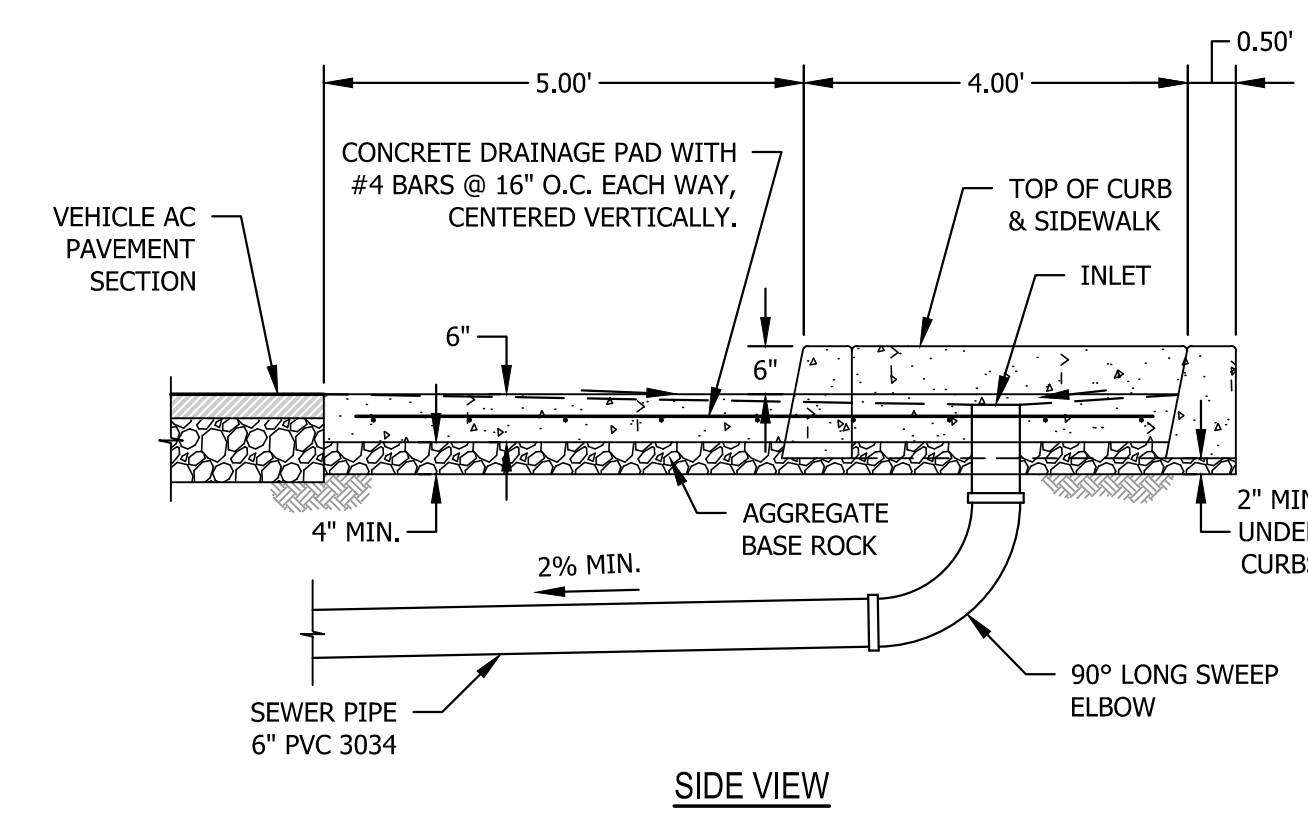
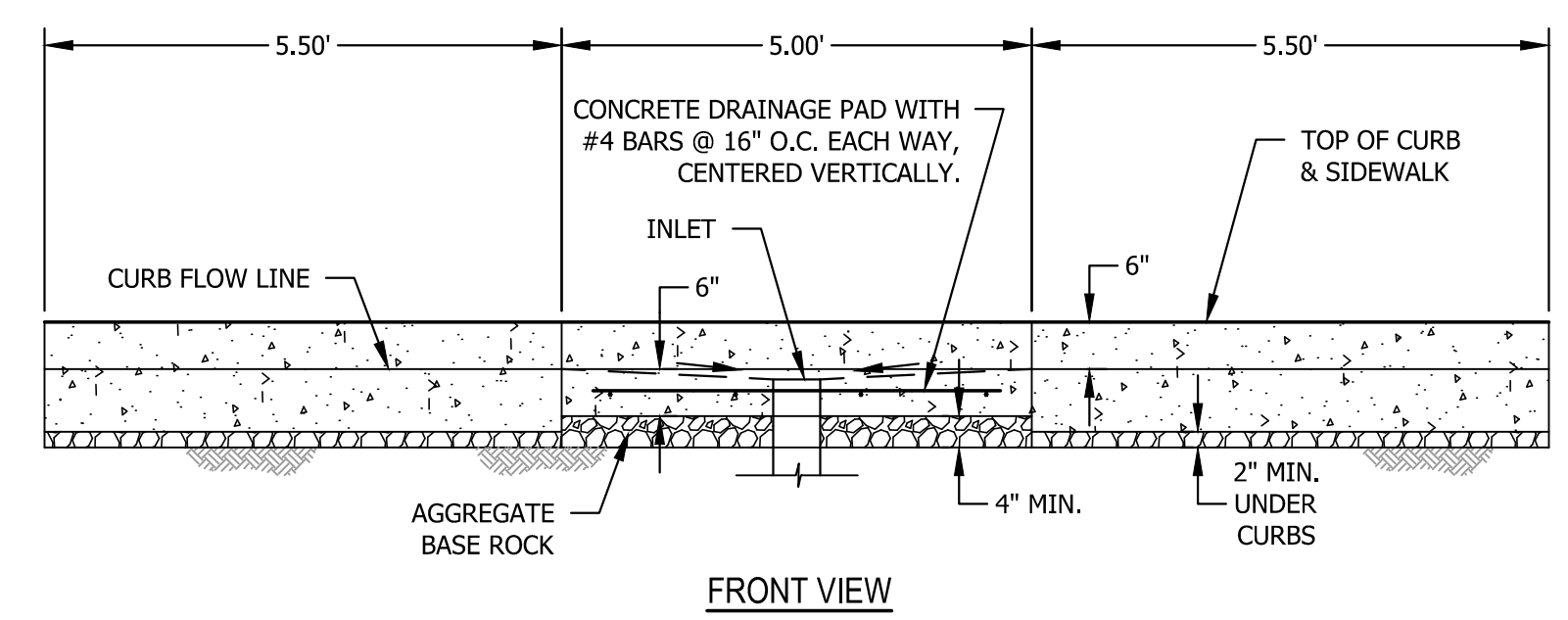


3 TRUNCATED DOMES AT MULTI-USE PATH CROSSING
SCALE: NOT TO SCALE



4 INFILTRATION BASIN DETAIL
SCALE: NOT TO SCALE

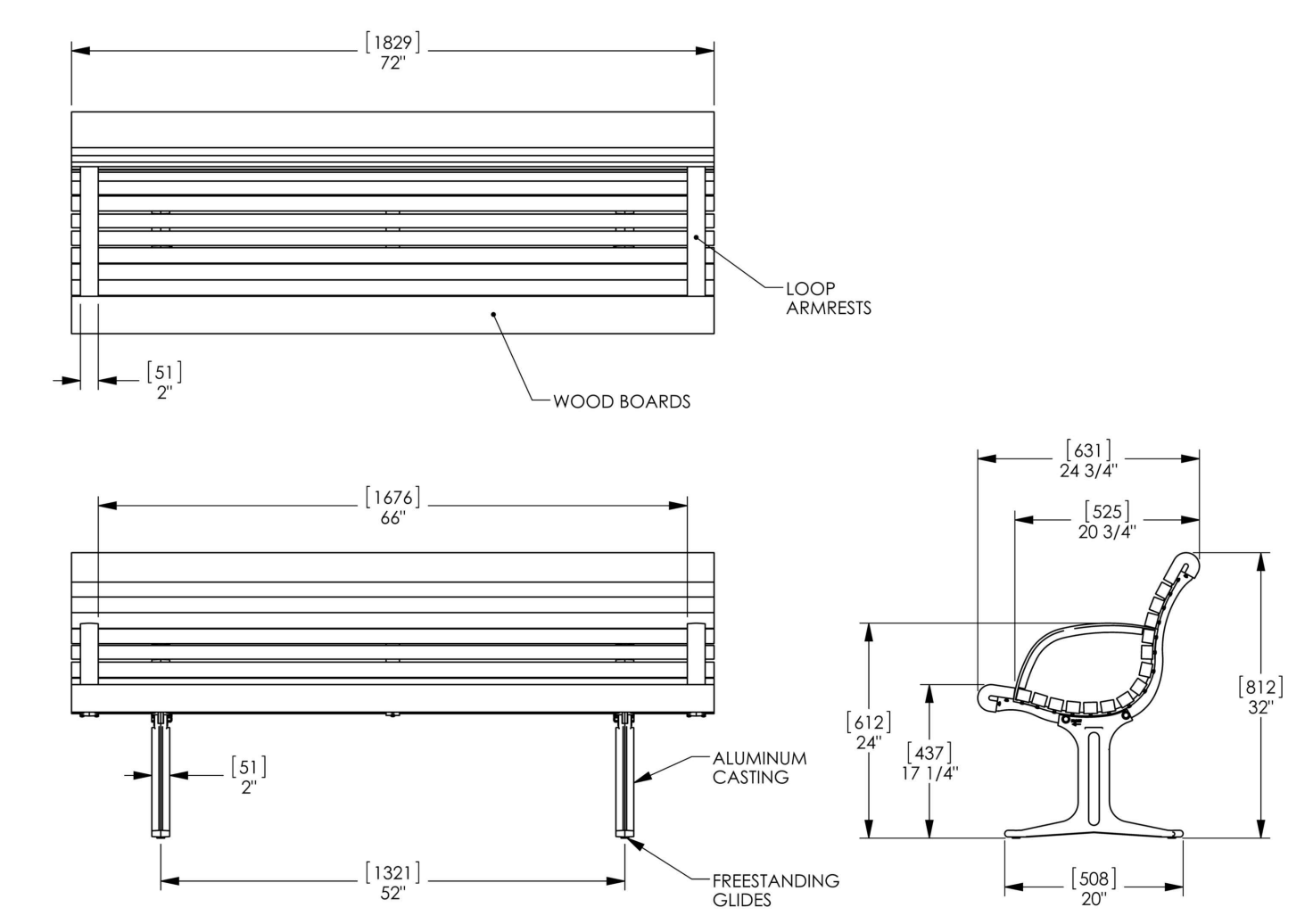
1 ASPHALT CONCRETE PAVEMENT SECTIONS
SCALE: NOT TO SCALE



5 CONCRETE IMPACT SLAB DETAIL
SCALE: NOT TO SCALE

6 RV DUMP STATION DETAIL
SCALE: NOT TO SCALE

Gretchen™ Backed Bench 72in, Freestanding / Surface Mount, Wood, with Loop Armrest
Product Drawing www.landscapiforms.com Date: 6/29/2011 Ph: 800.521.2546



landscapiforms Drawing: GR133-02 Dimensions are in inches (mm)
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HUNTCO Bike racks, lockers, benches and architectural site furnishings since 1983. PHONE 503.224.8700 FAX 503.274.2655 EMAIL Sales@Huntco.com WEB Huntco.com Twitter @HuntcoSupply MAIL P.O. Box 10885 Portland, OR 97296-0885

THE STAPLE
The ever-classic "Staple" style bike rack is Portland City Code approved. Lock it up!

CONSTRUCTION/MATERIAL OPTIONS
 ✓ 2" Sch. 40 Round Steel Pipe (Round)
 ■ 1.5" Sch. 40 Round Steel Pipe
 ■ 2" x 2" Square Steel Tubing (Pipecutter Proof)
 ■ 5/8" x 2 1/2" Steel Flat Bar (Pipecutter Proof)
 - Steel Flanges (Varies)

RECOMMENDED LAYOUT
 NOTES:
 *Bike" is 70"
 # Minimum Spacing
 (F) Recommended Spacing

FINISH OPTIONS
 ✓ 304 Stainless Steel #4 Satin Finish
 ■ 316 Stainless Steel #4 Satin Finish (available at additional cost)
 ■ Hot Dipped Galvanized
 ■ Powder Coating
 ■ Thermoplastic Coating

ADDITIONAL OPTIONS
 ■ Flange Cover (available at addtl. cost, round pipe only)

CONTRACTOR:
JOB:
NOTES:

REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

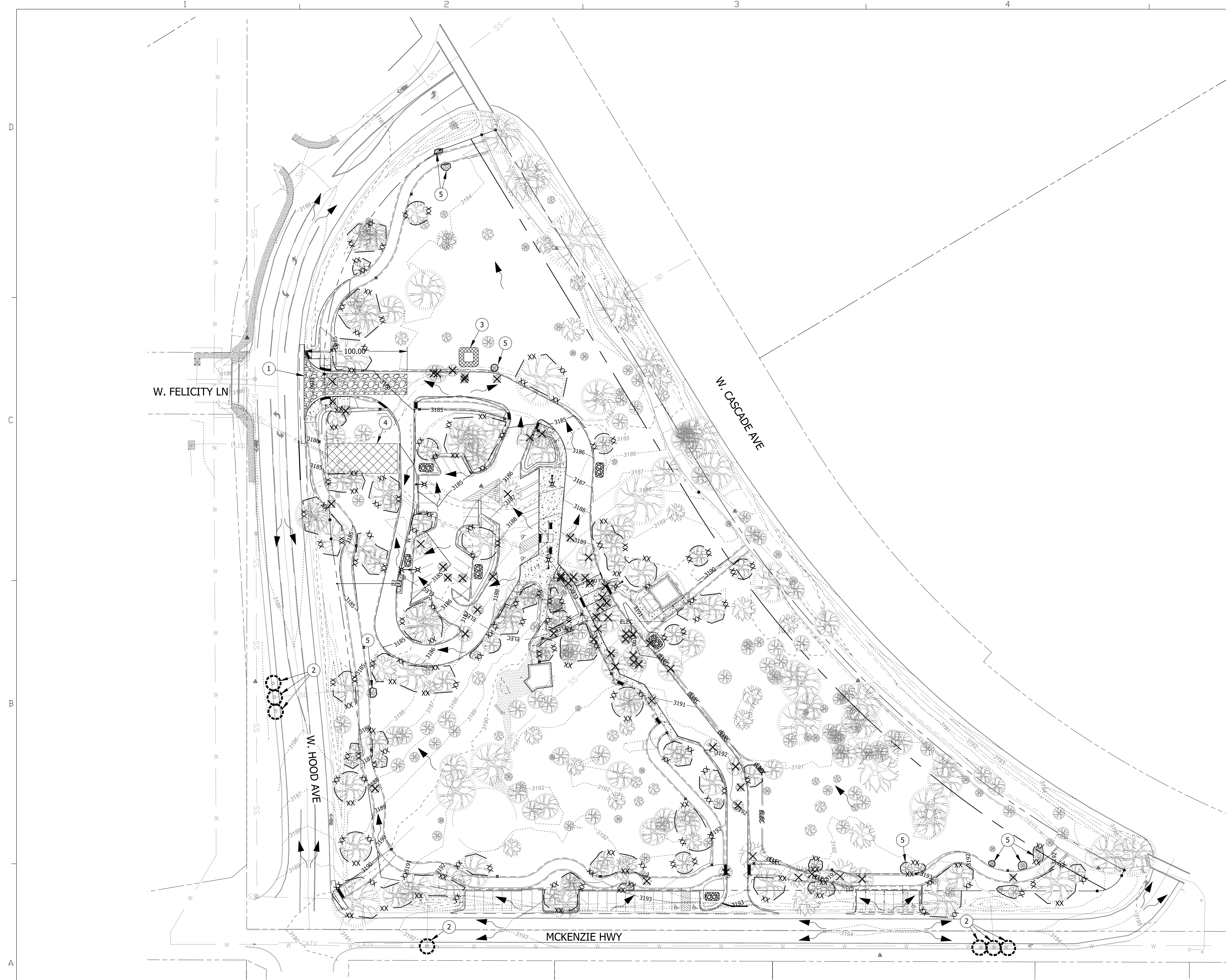
KITTELSON & ASSOCIATES
851 SW 6TH AVENUE, SUITE 600
PORTLAND, OR 97204
P 503.228.5230 F 503.273.8169

REGISTERED PROFESSIONAL ARCHITECT
 PRELIMINARY DESIGN NOT FOR CONSTRUCTION
 EXPIRES: 12/31/24

DESIGN: RPM
 DRAFTED: CCT/ATW
 CHECKED: AMR
 DATE: June 2024

CITY OF SISTERS
EST. 1946

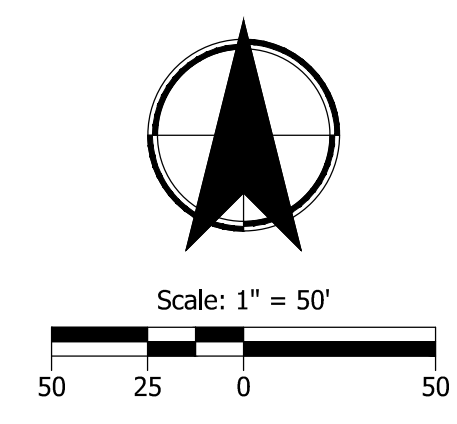
SCALE: AS SHOWN
 DRAWING NAME: Details
 SHEET: C5.2
 EAST PORTAL MOBILITY HUB IMPROVEMENTS



LEGEND

- Existing Right of Way Line
- Dedicated Right of Way Line
- - - Existing Property Line
- 3189 Existing Minor Contour
- - - 3190 Existing Major Contour
- 3189 Proposed Minor Contour
- 3190 Proposed Major Contour
- XX — XX Proposed Tree Protection Fence
- Flow Arrow
- ⊙ ⊙ Extg./Proposed Manhole
- ⊠ ⊠ Extg./Proposed Catch Basin
- ⊗ ⊗ Inlet Protection
- ▨ Construction Entrance
- ▩ Staging Area
- ⊞ Concrete Wash Out Facility
- 🌳 Trees to Remain
- ✂ Tree to be Removed. Timber Greater Than 6" DBH to be Left Onsite for Owner or Donation to Charity. Contractor to Coordinate with Owner or City Selected Charity for Pickup.

- EROSION CONTROL CONSTRUCTION NOTES**
- 1 INSTALL CONSTRUCTION ENTRANCE TYPE 1, SEE ODOT STD. DWG. RD1000 ON SHEET EC-2.
 - 2 INSTALL TYPE 3 INLET PROTECTION, SEE ODOT STD. DWG. RD1010 ON SHEET EC-2.
 - 3 INSTALL MINIMUM 10'x10'x2' DEEP CONCRETE TRUCK WASH OUT AREA. LOCATION MAY VARY, GRADE AS NEEDED TO CONTAIN CONC. WASTE MATERIAL. CONTRACTOR TO DISPOSE OF WASTE AND RESTORE WASH OUT AS NEEDED. DO NOT DISPOSE OF WASTE WATER INTO STORM DRAIN SYSTEM. SEE ODOT STD. DWG. RD1070 ON SHEET EC-2.
 - 4 CONTRACTOR TO LOCATE A SPECIFIED AREA FOR STAGING, EQUIPMENT MAINTENANCE, PORT-A-POTTY, FUELING, AND SOLID WASTE. STAGING AREA TO INCLUDE HAZARDOUS WASTE MANAGEMENT AND SPILL KIT AVAILABLE AT ALL TIMES.
 - 5 INSTALL 4' TALL PLASTIC ORANGE SAFETY FENCE FOR TREE PROTECTION.

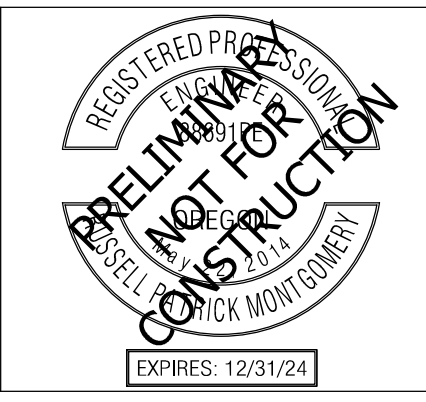


REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES

851 SW 6TH AVENUE, SUITE 600
 PORTLAND, OR 97204
 P 503.228.5230 F 503.273.8169



DESIGN	RPM
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CHECKED	AMR
DATE	June 2024



Erosion & Sediment Control Plan

EAST PORTAL MOBILITY HUB IMPROVEMENTS

SCALE	AS SHOWN
DRAWING NAME	
SHEET	EC-1

STANDARD EROSION AND SEDIMENT CONTROL PLAN DRAWING NOTES:

1. Once known, include a list of all contractors that will engage in construction activities on site, and the areas of the site where the contractor(s) will engage in construction activities. Revise the list as appropriate until permit coverage is terminated (Section 4.4.c.i). In addition, include a list of all personnel (by name and position) that are responsible for the design, installation and maintenance of stormwater control measures (e.g. ESCP developer, BMP installer (see Section 4.10), as well as their individual responsibilities. (Section 4.4.c.ii)
2. Visual monitoring inspection reports must be made in accordance with DEQ 1200-C permit requirements. (Section 6.5)
3. Inspection logs must be kept in accordance with DEQ's 1200-C permit requirements. (Section 6.5.q)
4. Retain a copy of the ESCP and all revisions on site and make it available on request to DEQ, Agent, or the local municipality. (Section 4.7)
5. The permit registrant must implement the ESCP. Failure to implement any of the control measures or practices described in the ESCP is a violation of the permit. (Sections 4 and 4.11)
6. The ESCP must be accurate and reflect site conditions. (Section 4.8)
7. Submission of all ESCP revisions is not required. Submittal of the ESCP revisions is only under specific conditions. Submit all necessary revision to DEQ or Agent within 10 days. (Section 4.9)
8. Sequence clearing and grading to the maximum extent practical to prevent exposed inactive areas from becoming a source of erosion. (Section 2.2.2)
9. Create smooth surfaces between soil surface and erosion and sediment controls to prevent stormwater from bypassing controls and ponding. (section 2.2.3)
10. Identify, mark, and protect (by construction fencing or other means) critical riparian areas and vegetation including important trees and associated rooting zones, and vegetation areas to be preserved. Identify vegetative buffer zones between the site and sensitive areas (e.g., wetlands), and other areas to be preserved, especially in perimeter areas. (Section 2.2.1)
11. Preserve existing vegetation when practical and re-vegetate open areas. Re-vegetate open areas when practicable before and after grading or construction. Identify the type of vegetative seed mix used. (Section 2.2.5)
12. Maintain and delineate any existing natural buffer within the 50-feet of waters of the state. (Section 2.2.4)
13. Install perimeter sediment control, including storm drain inlet protection as well as all sediment basins, traps, and barriers prior to land disturbance. (Sections 2.1.3)
14. Control both peak flow rates and total stormwater volume, to minimize erosion at outlets and downstream channels and streambanks. (Sections 2.1.1. and 2.2.16)
15. Control sediment as needed along the site perimeter and at all operational internal storm drain inlets at all times during construction, both internally and at the site boundary. (Sections 2.2.6 and 2.2.13)
16. Establish concrete truck and other concrete equipment washout areas before beginning concrete work. (Section 2.2.14)
17. Apply temporary and/or permanent soil stabilization measures immediately on all disturbed areas as grading progresses. Temporary or permanent stabilizations measures are not required for areas that are intended to be left unvegetated, such as dirt access roads or utility pole pads.(Sections 2.2.20 and 2.2.21)
18. Establish material and waste storage areas, and other non-stormwater controls. (Section 2.3.7)
19. Keep waste container lids closed when not in use and close lids at the end of the business day for those containers that are actively used throughout the day. For waste containers that do not have lids, provide either (1) cover (e.g., a tarp, plastic sheeting, temporary roof) to prevent exposure of wastes to precipitation, or (2) a similarly effective means designed to prevent the discharge of pollutants (e.g., secondary containment). (Section 2.3.7)
20. Prevent tracking of sediment onto public or private roads using BMPs such as: construction entrance, graveled (or paved) exits and parking areas, gravel all unpaved roads located onsite, or use an exit tire wash. These BMPs must be in place prior to land- disturbing activities. (Section 2.2.7)
21. When trucking saturated soils from the site, either use water-tight trucks or drain loads on site. (Section 2.2.7.f)
22. Control prohibited discharges from leaving the construction site, i.e., concrete wash-out, wastewater from cleanout of stucco, paint and curing compounds. (Sections 1.5 and 2.3.9)
23. Ensure that steep slope areas where construction activities are not occurring are not disturbed. (Section 2.2.10)
24. Prevent soil compaction in areas where post-construction infiltration facilities are to be installed. (Section 2.2.12)
25. Use BMPs to prevent or minimize stormwater exposure to pollutants from spills; vehicle and equipment fueling, maintenance, and storage; other cleaning and maintenance activities; and waste handling activities. These pollutants include fuel, hydraulic fluid, and other oils from vehicles and machinery, as well as debris, fertilizer, pesticides and herbicides, paints, solvents, curing compounds and adhesives from construction operations. (Sections 2.2.15 and 2.3)
26. Provide plans for sedimentation basins that have been designed per Section 2.2.17 and stamped by an Oregon Professional Engineer. (See Section 2.2.17.a)
27. If engineered soils are used on site, a sedimentation basin/impoundment must be installed. (See Sections 2.2.17 and 2.2.18)
28. Provide a dewatering plan for accumulated water from precipitation and uncontaminated groundwater seepage due to shallow excavation activities. (See Section 2.4)
29. Implement the following BMPs when applicable: written spill prevention and response procedures, employee training on spill prevention and proper disposal procedures, spill kits in all vehicles, regular maintenance schedule for vehicles and machinery, material delivery and storage controls, training and signage, and covered storage areas for waste and supplies. (Section 2.3)
30. Use water, soil-binding agent or other dust control technique as needed to avoid wind-blown soil. (Section 2.2.9)
31. The application rate of fertilizers used to reestablish vegetation must follow manufacturer's recommendations to minimize nutrient releases to surface waters. Exercise caution when using time-release fertilizers within any waterway riparian zone. (Section 2.3.5)
32. If an active treatment system (for example, electro-coagulation, flocculation, filtration, etc.) for sediment or other pollutant removal is employed, submit an operation and maintenance plan (including system schematic, location of system, location of inlet, location of discharge, discharge dispersion device design, and a sampling plan and frequency) before operating the treatment system. Obtain Environmental Management Plan approval from DEQ before operating the treatment system. Operate and maintain the treatment system according to manufacturer's specifications. (Section 1.2.9)
33. Temporarily stabilize soils at the end of the shift before holidays and weekends, if needed. The registrant is responsible for ensuring that soils are stable during rain events at all times of the year. (Section 2.2)
34. As needed based on weather conditions, at the end of each workday soil stockpiles must be stabilized or covered, or other BMPs must be implemented to prevent discharges to surface waters or conveyance systems leading to surface waters. (Section 2.2.8)
35. Sediment fence: remove trapped sediment before it reaches one third of the above ground fence height and before fence removal. (Section 2.1.5.b)
36. Other sediment barriers (such as biobags): remove sediment before it reaches two inches depth above ground height and before BMP removal. (Section 2.1.5.c)
37. Catch basins: clean before retention capacity has been reduced by fifty percent. Sediment basins and sediment traps: remove trapped sediments before design capacity has been reduced by fifty percent and at completion of project. (Section 2.1.5.d)
38. Within 24 hours, significant sediment that has left the construction site, must be remediated. Investigate the cause of the sediment release and implement steps to prevent a recurrence of the discharge within the same 24 hours. Any in-stream clean-up of sediment shall be performed according to the Oregon Department of State Lands required timeframe. (Section 2.2.19.a)
39. The intentional washing of sediment into storm sewers or drainage ways must not occur. Vacuuming or dry sweeping and material pickup must be used to cleanup released sediments. (Section 2.2.19)
40. Document any portion(s) of the site where land disturbing activities have permanently ceased or will be temporarily inactive for 14 or more calendar days. (Section 6.5.f.)
41. Provide temporary stabilization for that portion of the site where construction activities cease for 14 days or more with a covering of blown straw and a tackifier, loose straw, or an adequate covering of compost mulch until work resumes on that portion of the site. (Section 2.2.20)
42. Do not remove temporary sediment control practices until permanent vegetation or other cover of exposed areas is established. Once construction is complete and the site is stabilized, all temporary erosion controls and retained soils must be removed and disposed of properly, unless needed for long term use following termination of permit coverage. (Section 2.2.21)

BMP MATRIX FOR CONSTRUCTION PHASES

Refer to DEQ Guidance Manual for a comprehensive list of available BMP's

	CLEARING	MASS GRADING	UTILITY INSTALLATION	CONSTRUCTION	FINAL STABILIZATION	WET WEATHER (OCT. 1 - MAY 31ST)
EROSION PREVENTION						
PRESERVE NATURAL VEGETATION	** X	X	X	X	X	X
GROUND COVER					X	X
HYDRAULIC APPLICATIONS						
PLASTIC SHEETING						
MATTING						X
DUST CONTROL	X	X	X	X	X	X
TEMPORARY/ PERMANENT SEEDING***			X	X	X	X
BUFFER ZONE						
OTHER:						
SEDIMENT CONTROL						
SEDIMENT FENCE (PERIMETER)						
SEDIMENT FENCE (INTERIOR)						
STRAW WATTLES						
FILTER BERM						
INLET PROTECTION			X	X	X	X
DEWATERING						
SEDIMENT TRAP						
NATURAL BUFFER ENCROACHMENT						
OTHER:						
RUN OFF CONTROL						
CONSTRUCTION ENTRANCE	X	X	X	X		
OUTLET PROTECTION						
POLLUTION PREVENTION						
PROPER SIGNAGE	X	X	X	X	X	X
HAZ WASTE MGMT	X	X	X	X	X	X
SPILL KIT ON-SITE	X	X	X	X	X	X
CONCRETE WASHOUT AREA				X	X	X
OTHER:						

- * Signifies additional BMP's required for work within 50' of water of the state.
- ** Signifies BMP that will be installed prior to any ground disturbing activity.
- *** Seed Between April 15 - Oct. 15

WATER MANAGEMENT AND EROSION CONTROL NOTES

1. The Contractor Shall Be Required To Perform Preventive Dust Control Measures To Ensure That Dust Resulting From The Contractor's Performance Of The Work Is Controlled In Conformance With The Standard Specifications And Federal, State, Local, And Permit Requirements.
2. The Contractor Shall Be Responsible For Implementing All Temporary Erosion Control Measures. The Erosion Control Measures Shall Be In Accordance With All Federal, State, And Local Requirements. The Contractor Shall Be Responsible For The Maintenance And Performance Of The Temporary Erosion Control Measures Throughout The Duration Of The Project. See Special Provisions Regarding Temporary Erosion Control Facility Removal.
3. The Contractor Shall Have An Emergency Spill Kit Onsite At All Times.
4. No Native Trees Or Wetland Vegetation Shall Be Removed Unless They Are Shown And Noted To Be Removed On The Plans, Or As Directly Specified On-site By City of Newberg. All Trees Conflicting With Grading Shall Be Trimmed. No Grading Shall Take Place Within The Drip Line Of Trees Not To Be Removed Unless Otherwise Approved.
5. Permit Conditions May Contain Specific Requirements For The Control Of Off-site Turbidity From Project Operations. Turbidity Will Be Monitored On A Frequent Basis. Turbidity Amounts In Excess Of The Permitted Amount And/or Durations Will Cause Work To Be Stopped Until Improved Practices Are In Effect And The Problems Controlled. The Contractor Is Completely Responsible For Any Project Delays That Occur By Nature Of This Failure To Adequately Contain Sediment On-site.
6. The Contractor Shall Follow Provisions Set Forth In The Project Permits, And Install BMP's To Control Sediment And Minimize Disturbance To Existing Vegetation.
7. The Plans May Show Construction Sequencing. These Are Provided To The Contractor For Consideration. Contractor Is To Use This Plan Or Develop A New Plan For The Engineer's Approval.

EQUIPMENT NOTES

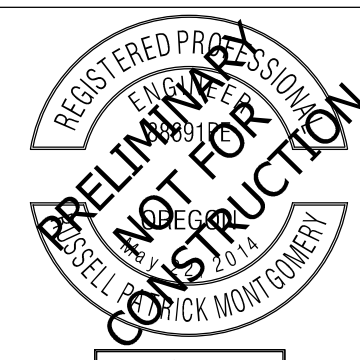
1. All External Grease And Oil Shall Be Pressure-washed Off The Equipment Prior To Transport To The Site. All Equipment Shall Use Vegetable Oil Hydraulic Fluid.
2. The Contractor Shall Use Only Designated Specific Sites For Storage Of Equipment And Materials As Shown On These Plans. The Contractor Shall Be Responsible For The Security Of All Equipment And Materials.
3. The Contractor Is Responsible To Ensure That No Petroleum Products, Hydraulic Fluid, Sediments, Sediment-laden Water, Chemicals, Or Any Other Toxic Or Deleterious Materials Are Allowed To Enter Or Leach Into The River.
4. Equipment Shall Be Checked Daily For Leaks, And Any Necessary Repairs Shall Be Completed Prior To Commencing Work Activities Along The River, Groundwater Or Wetlands.

REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:



KITTELSON & ASSOCIATES
 851 SW 6TH AVENUE, SUITE 600
 PORTLAND, OR 97204
 P 503.228.5230 F 503.273.8169



REGISTERED PROFESSIONAL ENGINEER
 RUSSELL KOPPICK
 NO. 2014
 EXPIRES: 12/31/24

DESIGN	RPM
DRAFTED	CCT/IATW
CHECKED	AMR
DATE	June 2024

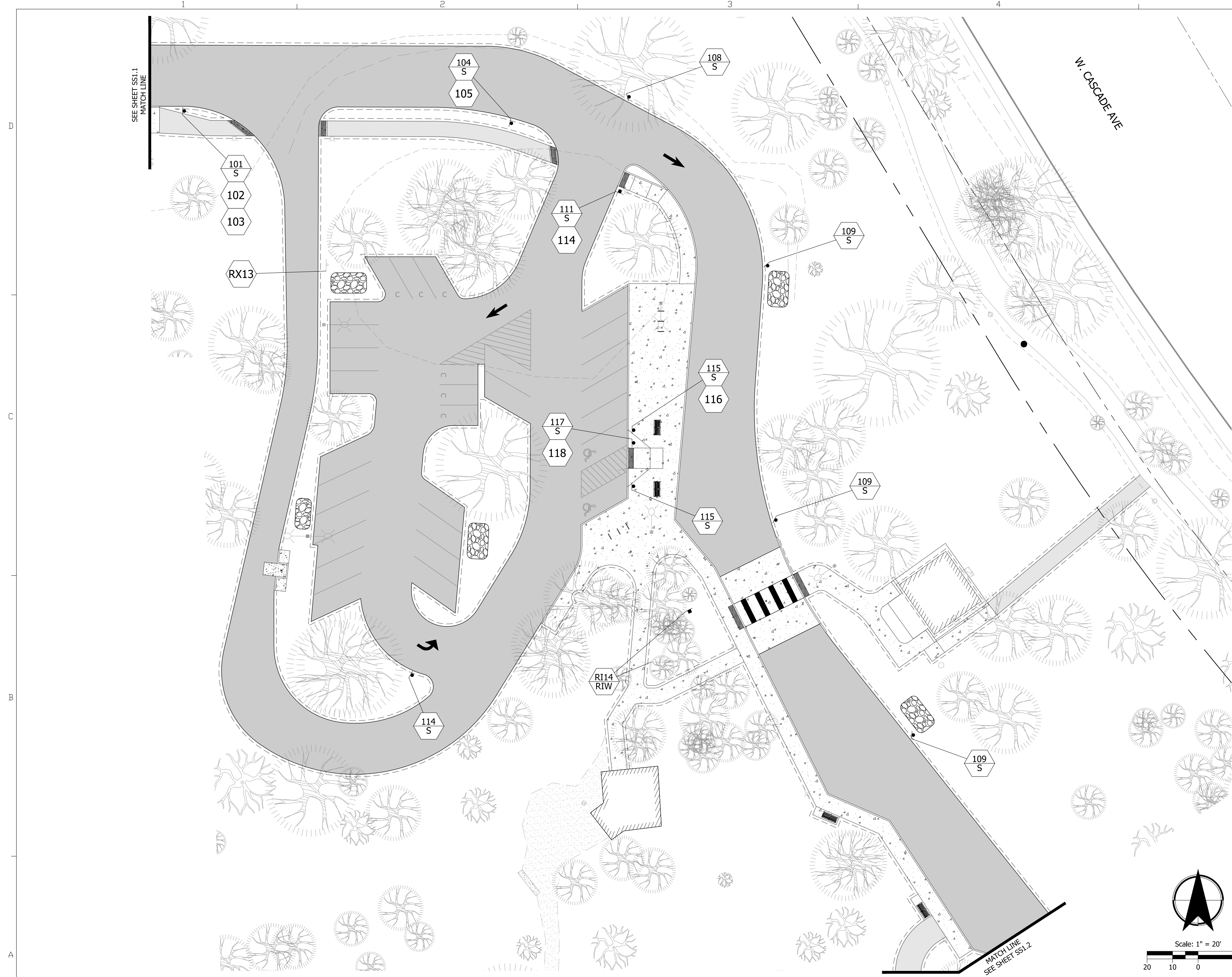


CITY OF SISTERS
 EST. 1946










**Erosion & Sediment Control
 General Notes**

EAST PORTAL MOBILITY HUB IMPROVEMENTS

SCALE	AS SHOWN
DRAWING NAME	
SHEET	EC-3



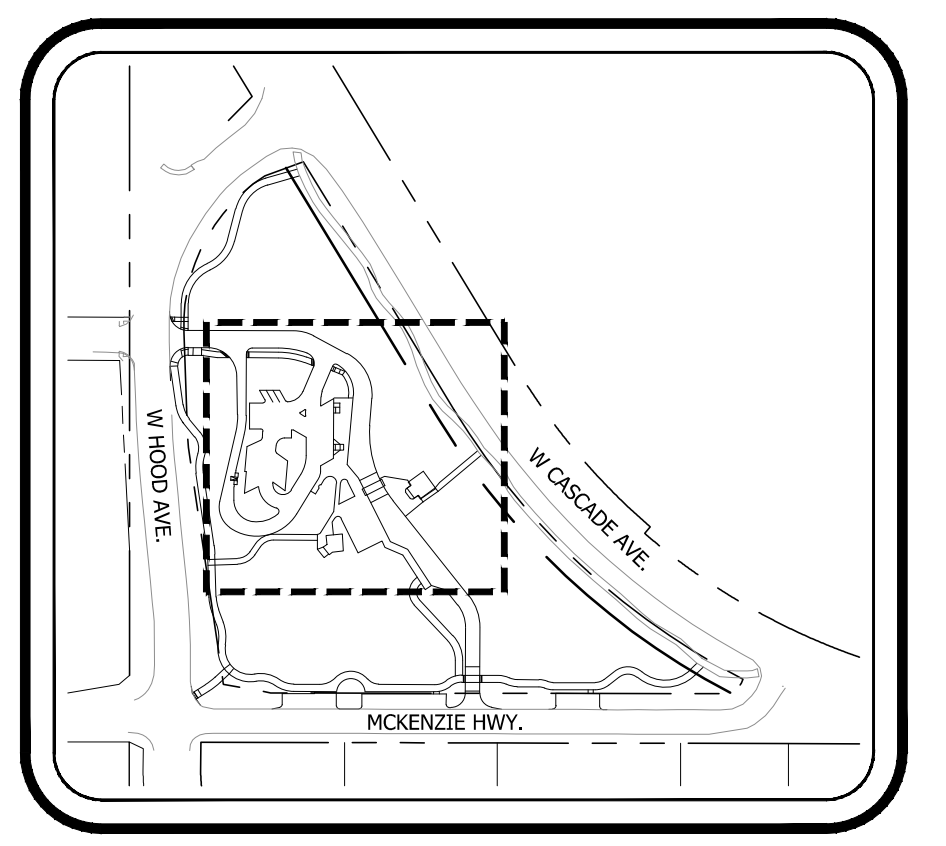
SIGNING LEGEND

-  Install new sign (N).
-  Install new sign (N) on new (M) sign support.
-  Remove existing sign (N)
-  Reinstall existing sign (N)
-  Retain and protect existing sign (N) and support
-  Remove and save existing sign (N) and remove (M) sign support
-  Reinstall existing sign (N) on new (M) sign support
-  Remove and save existing sign (N) and (M) sign support
-  Reinstall existing sign (N) and (M) sign support

N = Sign number (See Sheets SS2.0 & SS2.1)
 M = Material options are:
 S = Perforated steel square tube sign support
 W = Wood post

SIGNING GENERAL NOTES

1. All signing shall conform to the requirements and specifications of the Manual on Uniform Traffic Control Devices (M.U.T.C.D.) latest edition, the 2024 Oregon Standard Specifications for Construction, and Current City of Sisters Road Standards.
2. The locations of sign installations shown are approximate, with final locations to be determined in the field.
3. Existing signs not shown are to remain in place unless otherwise directed by the City.



KEY MAP
SCALE: NTS

REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

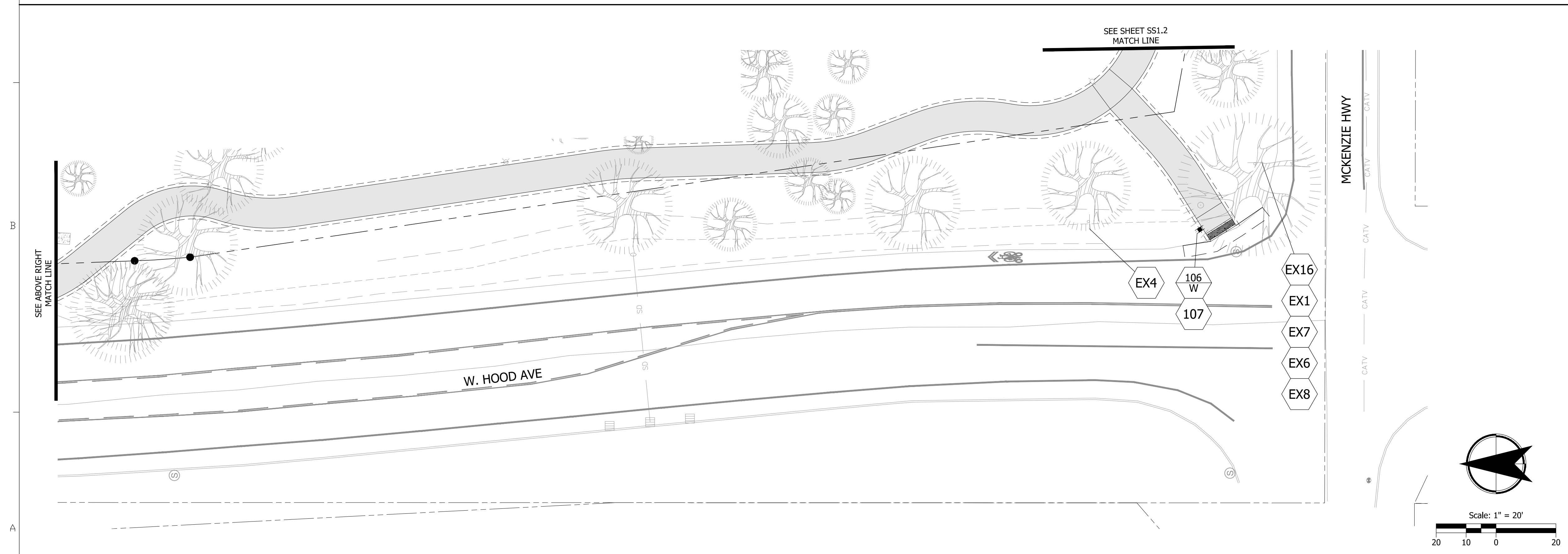
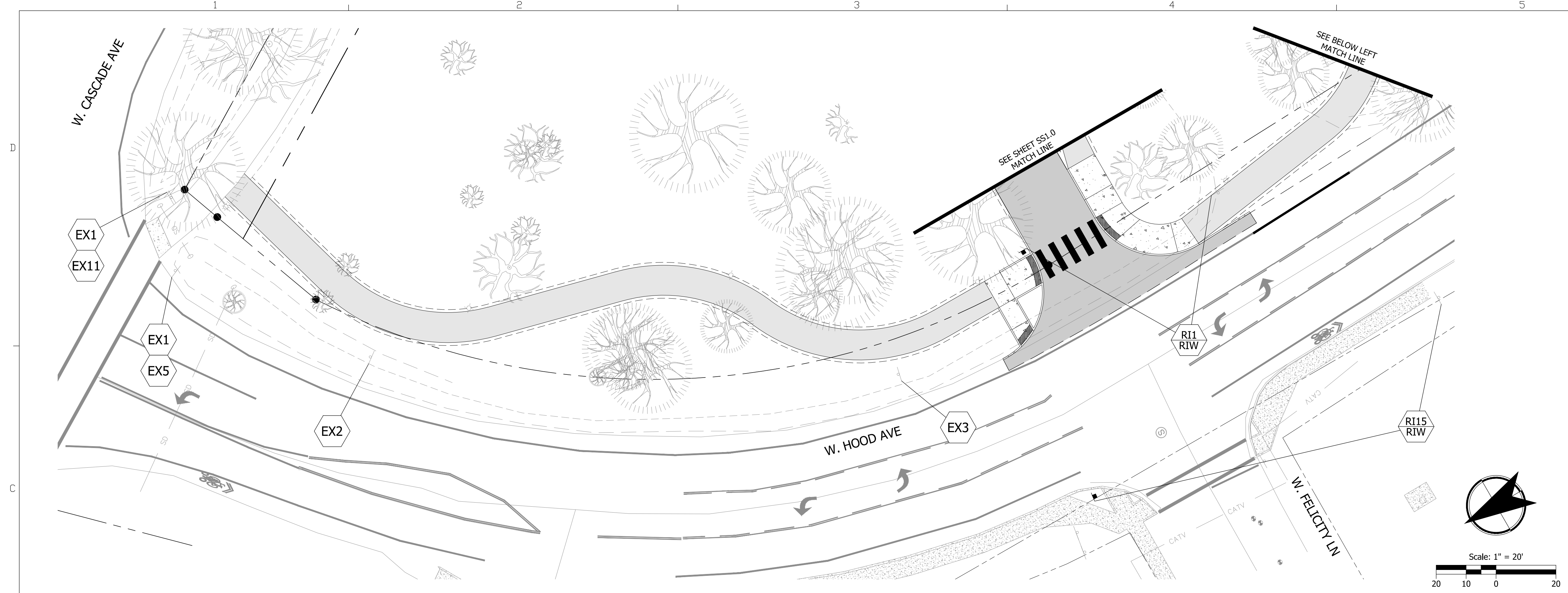
KITTELSON & ASSOCIATES
 851 SW 6TH AVENUE, SUITE 600
 PORTLAND, OR 97204
 P 503.228.5230 F 503.273.8169

REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 EXPIRES: 12/31/24
PRELIMINARY NOT FOR CONSTRUCTION
 CASSELL / QUICK MOUNTAIN SURVEY

DESIGN	RPM
DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024

CITY OF SISTERS
 EST. 1946

Signing Plan - Mobility Hub
 EAST PORTAL MOBILITY HUB IMPROVEMENTS
 SCALE: AS SHOWN
 DRAWING NAME
 SHEET
SS1.0



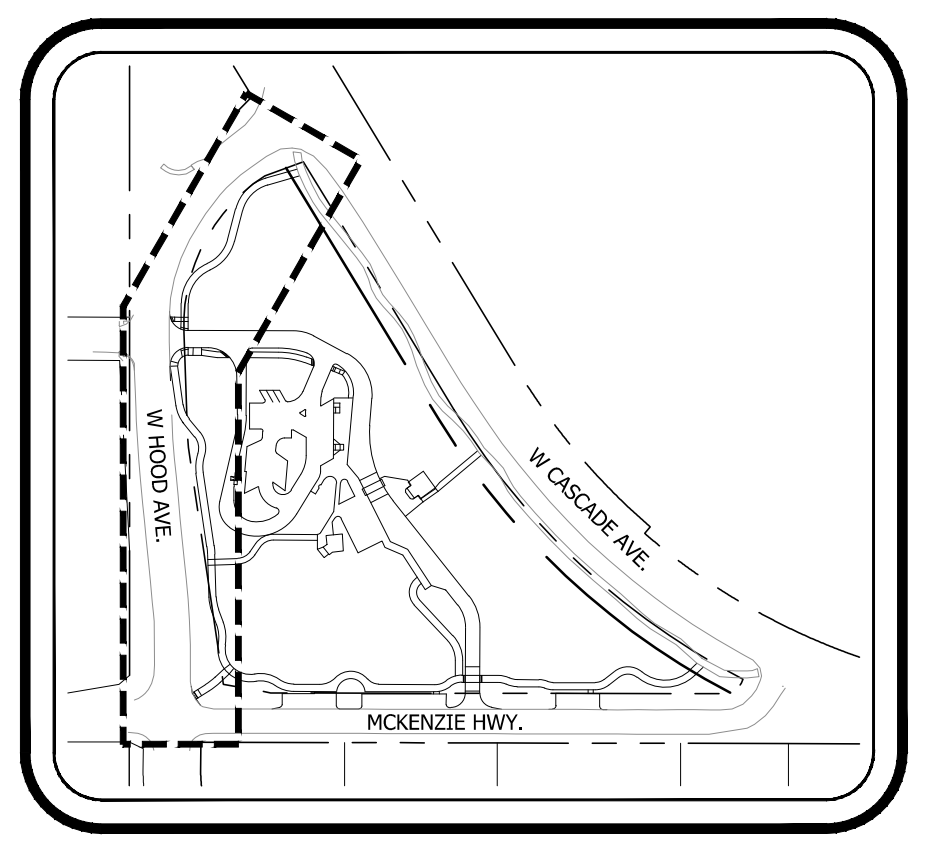
SIGNING LEGEND

- Install new sign (N).
- Install new sign (N) on new (M) sign support.
- Remove existing sign (N)
- Reinstall existing sign (N)
- Retain and protect existing sign (N) and support
- Remove and save existing sign (N) and remove (M) sign support
- Reinstall existing sign (N) on new (M) sign support
- Remove and save existing sign (N) and (M) sign support
- Reinstall existing sign (N) and (M) sign support

N = Sign number (See Sheets SS2.0 & SS2.1)
 M = Material options are:
 S = Perforated steel square tube sign support
 W = Wood post

SIGNING GENERAL NOTES

1. All signing shall conform to the requirements and specifications of the Manual on Uniform Traffic Control Devices (M.U.T.C.D.) latest edition, the 2024 Oregon Standard Specifications for Construction, and Current City of Sisters Road Standards.
2. The locations of sign installations shown are approximate, with final locations to be determined in the field.
3. Existing signs not shown are to remain in place unless otherwise directed by the City.

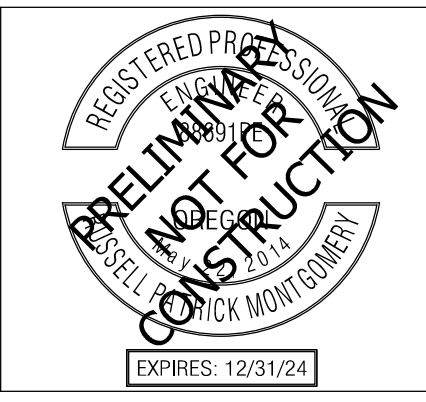


KEY MAP
SCALE: NTS

REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES
 851 SW 6TH AVENUE, SUITE 600
 PORTLAND, OR 97204
 P 503.228.5230 F 503.273.8169

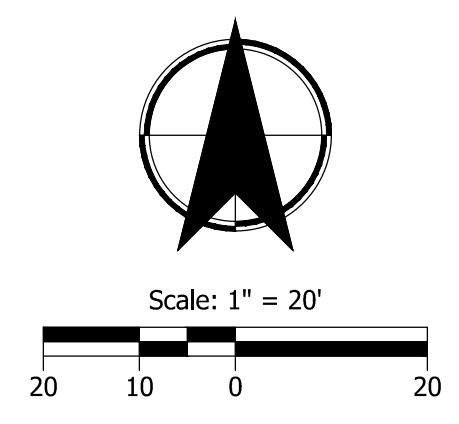
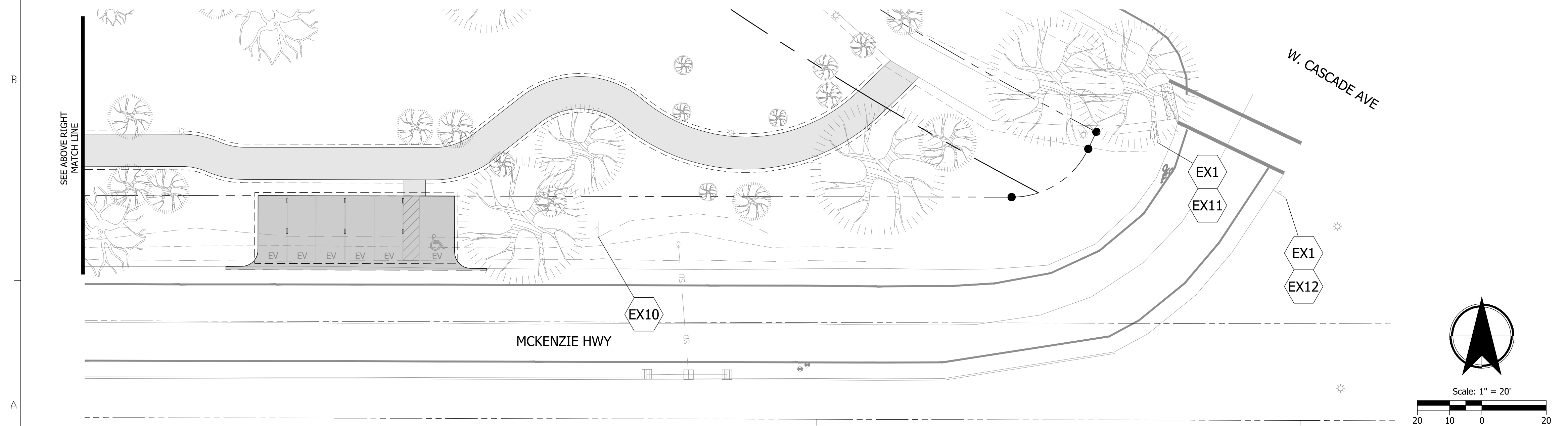
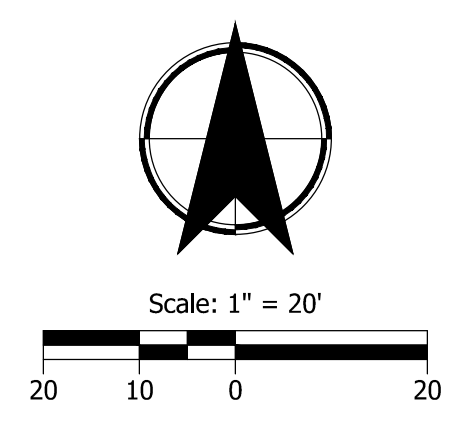
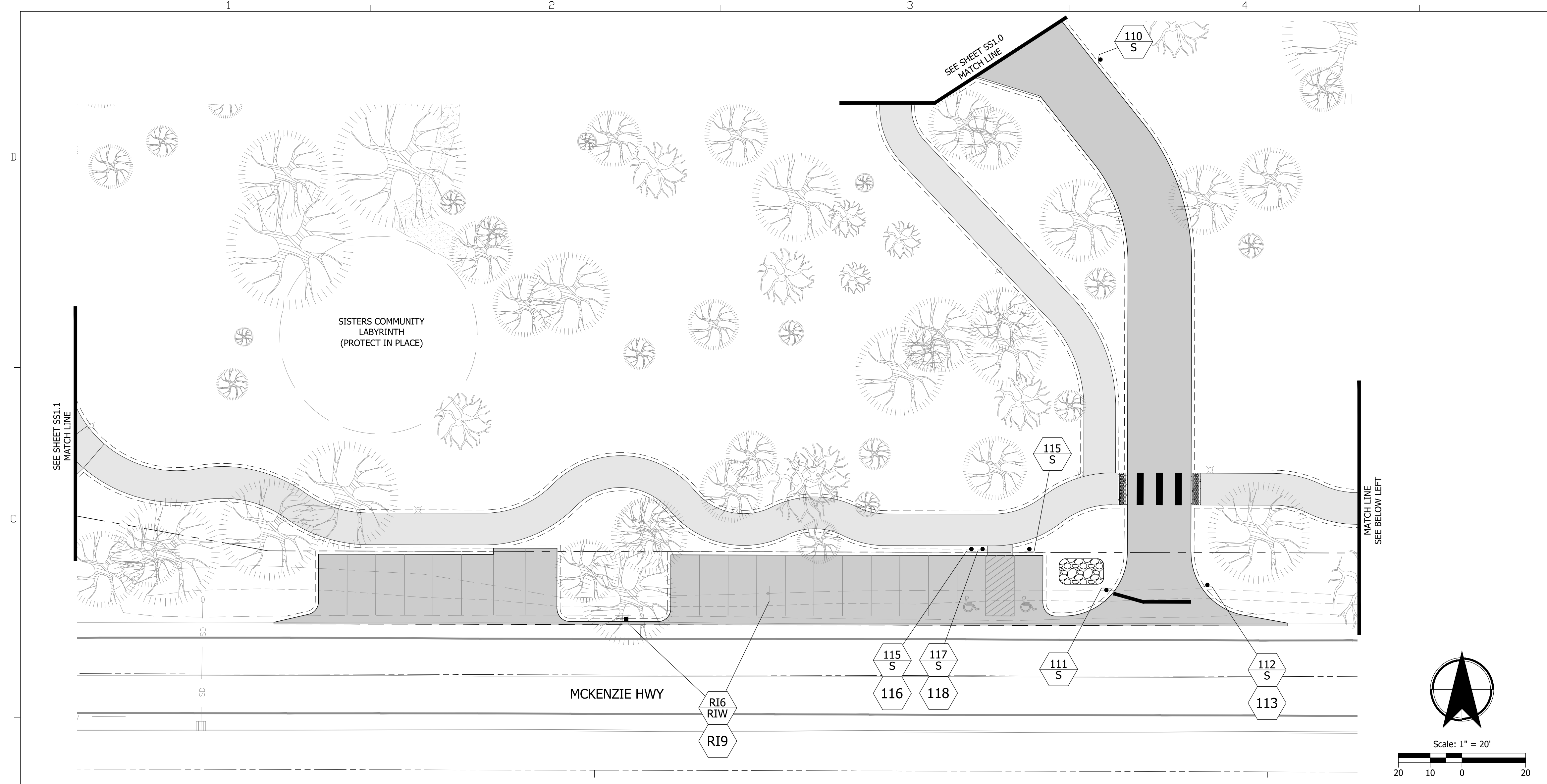


DESIGN	RPM
DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024



Signing Plan - W. Hood Ave
 EAST PORTAL MOBILITY HUB IMPROVEMENTS

SCALE: AS SHOWN
 DRAWING NAME:
 SHEET: **SS1.1**



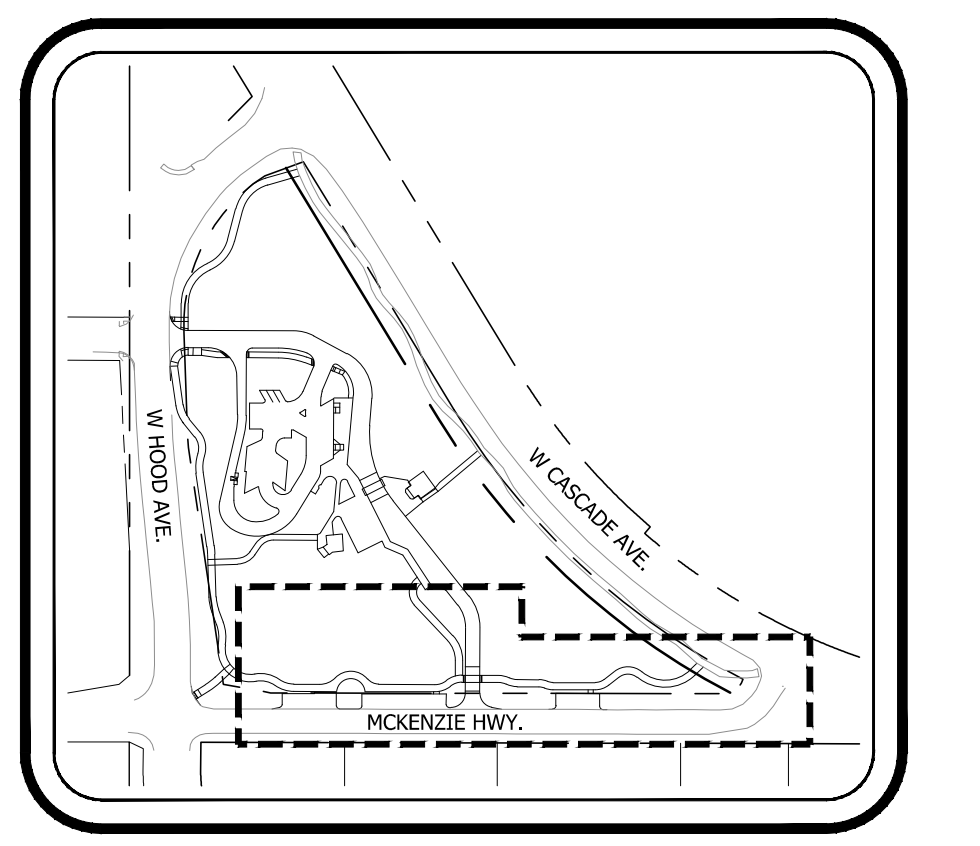
SIGNING LEGEND

- Install new sign (N).
- Install new sign (N) on new (M) sign support.
- Remove existing sign (N)
- Reinstall existing sign (N)
- Retain and protect existing sign (N) and support
- Remove and save existing sign (N) and remove (M) sign support
- Reinstall existing sign (N) on new (M) sign support
- Remove and save existing sign (N) and (M) sign support
- Reinstall existing sign (N) and (M) sign support

N = Sign number (See Sheets SS2.0 & SS2.1)
 M = Material options are:
 S = Perforated steel square tube sign support
 W = Wood post

SIGNING GENERAL NOTES

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2. The locations of sign installations shown are approximate, with final locations to be determined in the field.
3. Existing signs not shown are to remain in place unless otherwise directed by the City.



KEY MAP
SCALE: NTS

REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES
 851 SW 6TH AVENUE, SUITE 600
 PORTLAND, OR 97204
 P 503.228.5230 F 503.273.8169

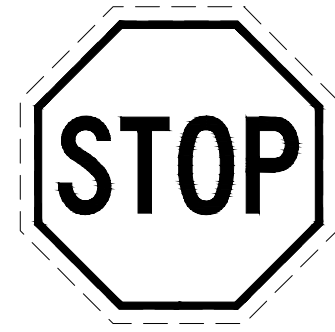
REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 OREGON
 EXPIRES: 12/31/24
PRELIMINARY NOT FOR CONSTRUCTION

DESIGN	RPM
DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024

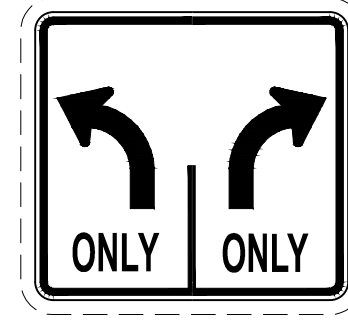
CITY OF SISTERS
 EST. 1946

SCALE: AS SHOWN
 DRAWING NAME: **Signing Plan - McKenzie Hwy**
 SHEET: **SS1.2**
 EAST PORTAL MOBILITY HUB IMPROVEMENTS

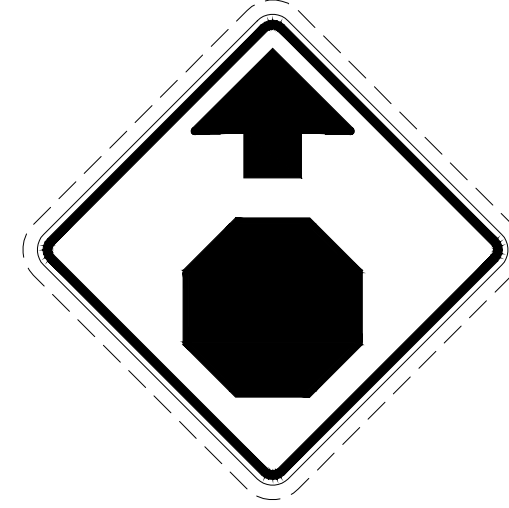
EXISTING SIGN LEGEND



1 R1-1 EXISTING



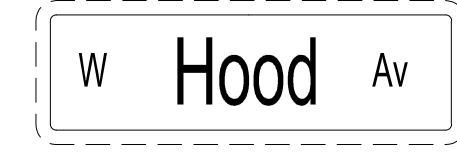
2 R3-8 EXISTING



3 D3-1 EXISTING



4 R2-1 EXISTING



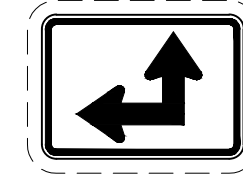
5 D3-1 EXISTING



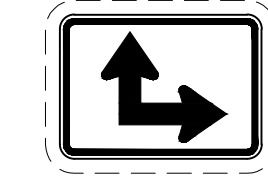
6 M1-5(OR) EXISTING



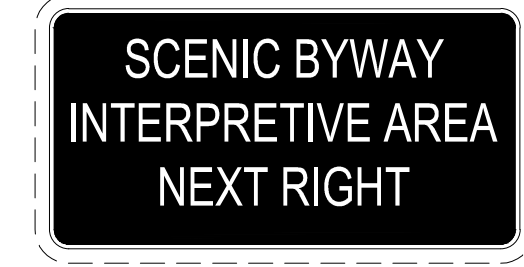
7 R1-3P EXISTING



8 M6-6L EXISTING



9 M6-6R EXISTING



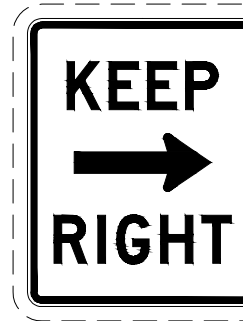
10 EXISTING



11 R5-3 EXISTING



12 R3-5R EXISTING



13 R4-7A EXISTING



14 EXISTING



15 EXISTING

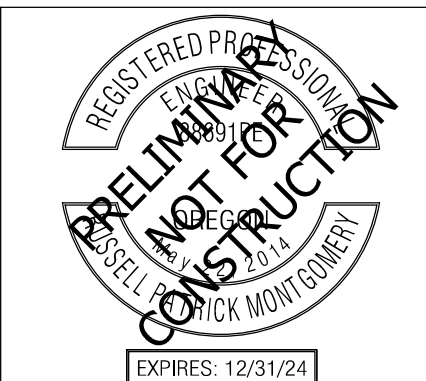


16 D3-1 EXISTING

REVISIONS			
REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES
 851 SW 6TH AVENUE, SUITE 600
 PORTLAND, OR 97204
 P 503.228.5230 F 503.273.8169



DESIGN	RPM
DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024



Existing Sign Details
 EAST PORTAL MOBILITY HUB IMPROVEMENTS


SCALE	AS SHOWN
DRAWING NAME	
SHEET	SS2.0

PROPOSED SIGN LEGEND

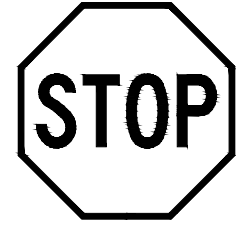
101 
 D9-12
 24" x 24"
 White on Blue Background
 Sheet Aluminum


102 
 M4-5 Modified
 24" x 12"
 White on Blue Background
 Sheet Aluminum


103 
 M5-1(R)
 21" x 15"
 White on Blue Background
 Sheet Aluminum

104 
 R3-5(R)
 30" x 36"
 Sheet Aluminum

105 
 OR3-7a
 30" x 9"
 Black on White Background
 Sheet Aluminum

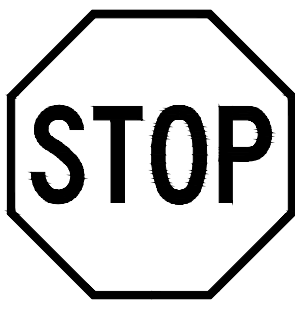
106 
 R1-1
 24" x 24"
 Sheet Aluminum


107 
 R5-3
 24" x 24"
 Sheet Aluminum


108 
 R7-1(R) - Per OFC C103.6
 12" x 18"
 Red on White Background
 Sheet Aluminum


109 
 R7-1(LR) - Per OFC C103.6
 12" x 18"
 Red on White Background
 Sheet Aluminum

110 
 R7-1(L) - Per OFC C103.6
 12" x 18"
 Red on White Background
 Sheet Aluminum

111 
 R1-1
 30" x 30"
 Sheet Aluminum

112 
 R5-1
 30" x 30"
 Sheet Aluminum


113 
 R5-1A
 30" x 18"
 Sheet Aluminum

114 
 R3-5(L)
 30" x 36"
 Sheet Aluminum

115 
 R7-8
 12" x 18"
 Green Legend on White Background
 White Symbol on Blue Background
 Sheet Aluminum

116 
 R7-8P
 18" x 9"
 Green on White Background
 Sheet Aluminum

117 
 OR7-9
 12" x 18"
 Red Legend on White Background
 White Symbol on Blue Background
 Sheet Aluminum

118 
 OR7-9a
 12" x 8"
 Red on White Background
 Sheet Aluminum

REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES
 851 SW 6TH AVENUE, SUITE 600
 PORTLAND, OR 97204
 P 503.228.5230 F 503.273.8169

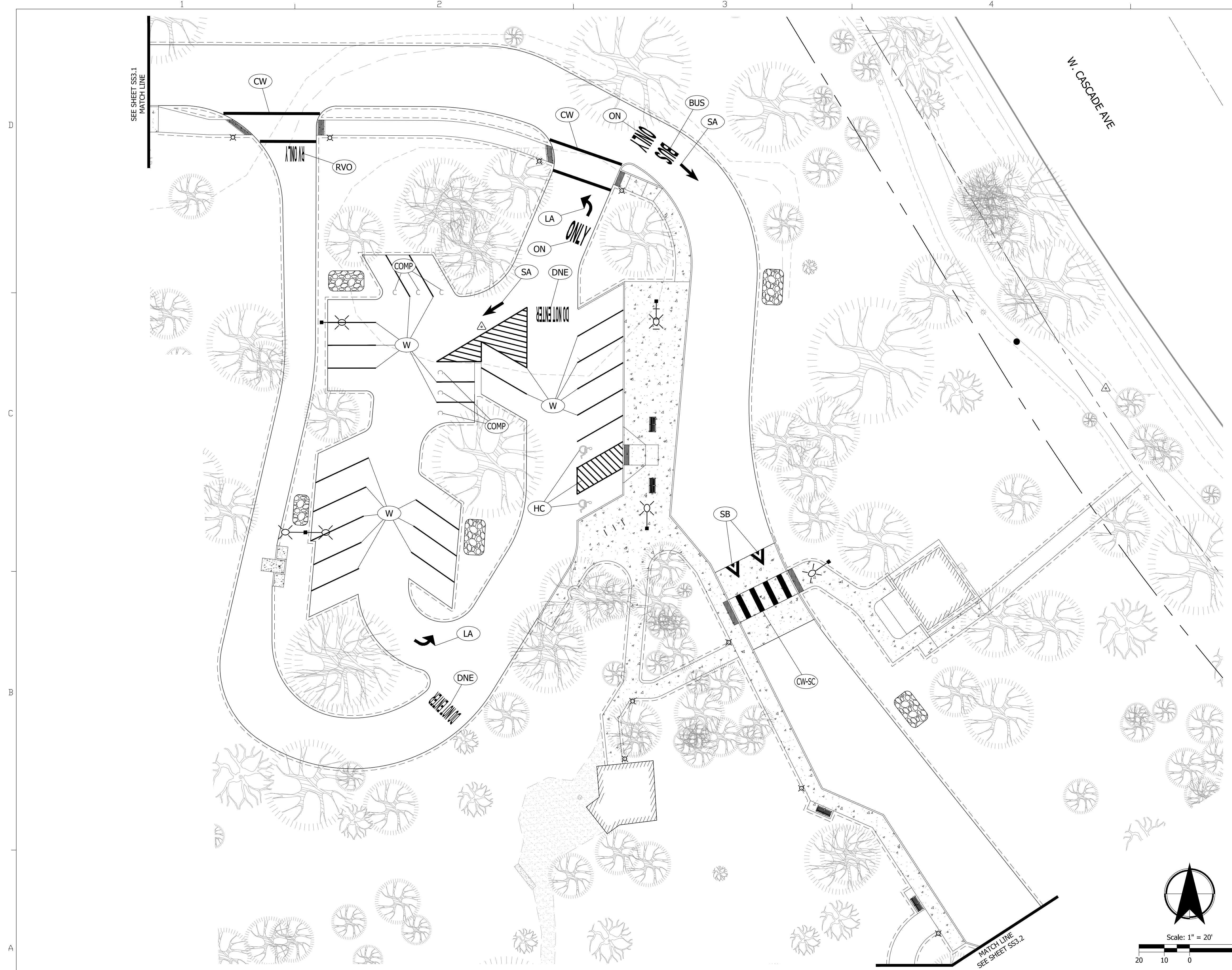
REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 NO. 12345
 EXPIRES: 12/31/24
 PRELIMINARY NOT FOR CONSTRUCTION

DESIGN	RPM
DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024



Proposed Sign Details
 EAST PORTAL MOBILITY HUB IMPROVEMENTS

SCALE	AS SHOWN
DRAWING NAME	
SHEET	SS2.1

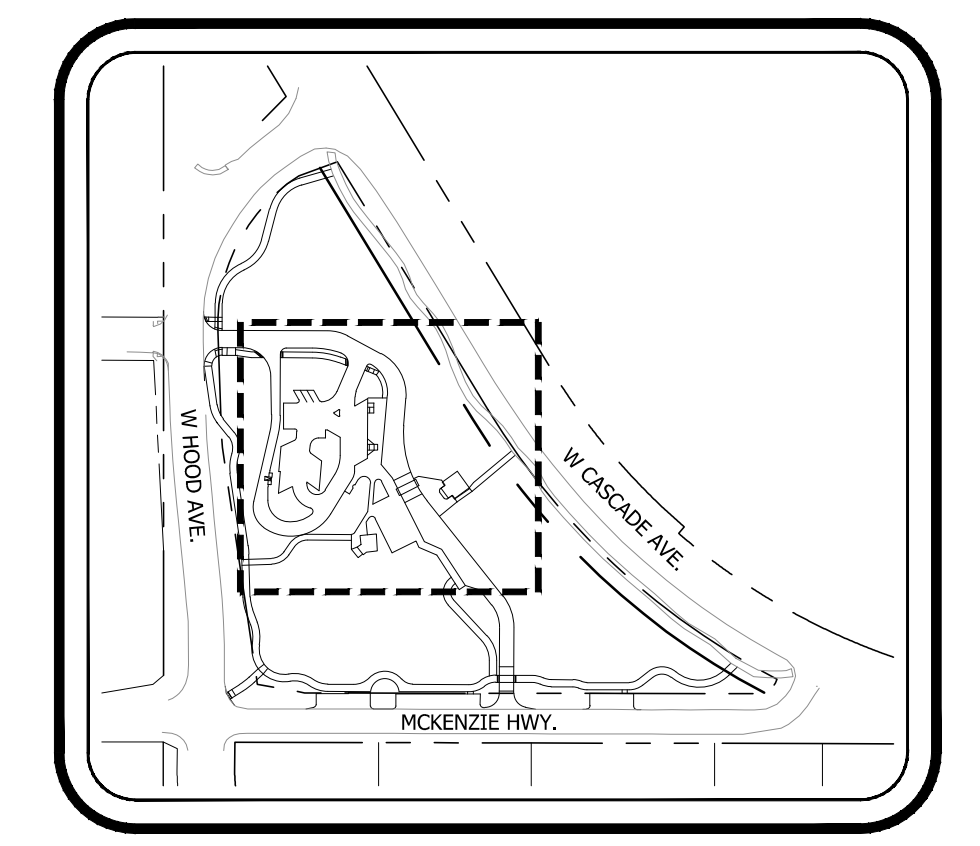


STRIPING LEGEND

- W** Install 4" white line, paint
- W-2** Install 8" white line, paint
- CW** Install standard crosswalk with two 1' white bars, Type B
- CW-SC** Install standard continental crosswalk 2' white bars, Type B
- HC** Install disabled parking detail (white), Type B
- SA** Install straight arrow (white), Type B
- LA** Install left arrow (white), Type B
- BUS** Install "BUS" legend (white), Type B
- ON** Install "ONLY" legend (white), Type B
- RVO** Install "RV" legend (white) 24" tall, Type B
- DNE** Install "DO NOT ENTER" legend (white) 24" tall, Type B
- COMP** Install "C" legend (white) 24" tall, Type B
- SB** Install speed bump marking (white), Type B

STRIPING GENERAL NOTES

1. All pavement markings shall conform to the required specifications of the Manual on Uniform Traffic Control Devices (M.U.T.C.D.) latest edition and current City of Sisters Road Standards. See ODOT Standard Drawings TM500, TM501, and TM503 on Sheet SS4.0.
2. The final layout for all pavement markings shall first be approved by the City prior to application.



KEY MAP
SCALE: NTS

REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

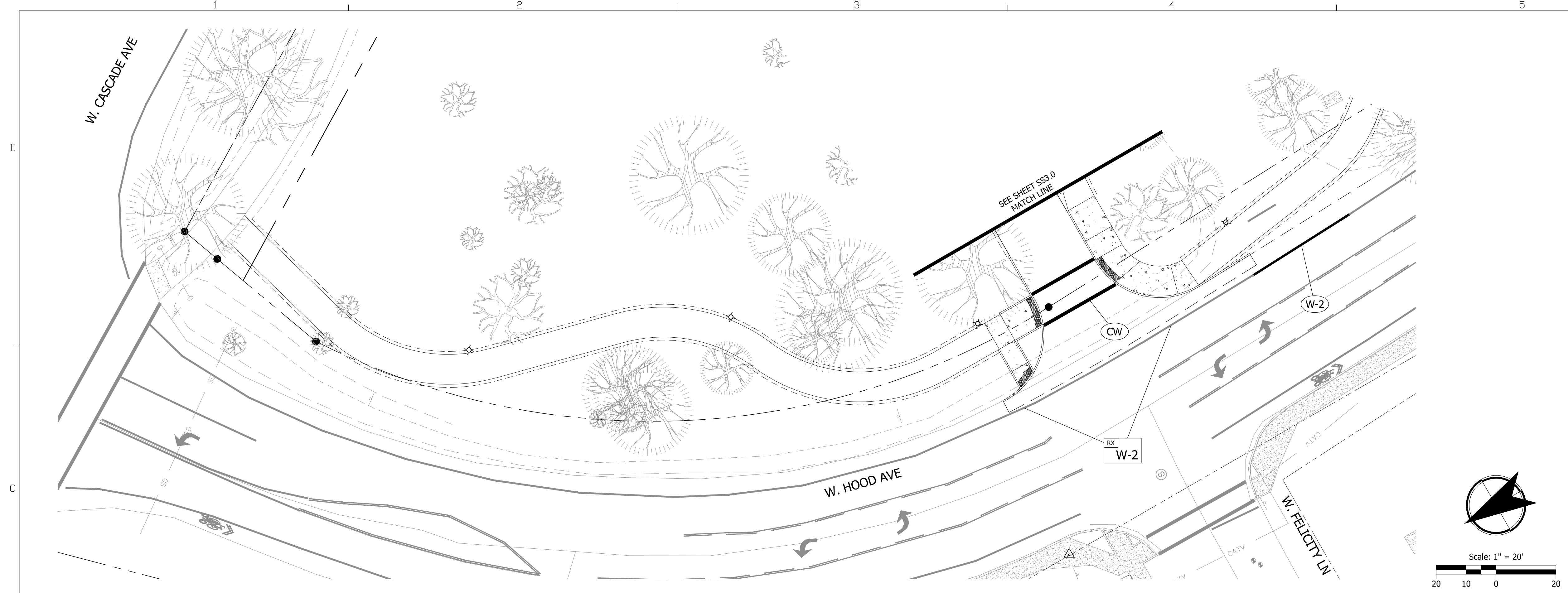
KITTELSON & ASSOCIATES
 851 SW 6TH AVENUE, SUITE 600
 PORTLAND, OR 97204
 P 503.228.5230 F 503.273.8169

REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 PRELIMINARY
 NOT FOR CONSTRUCTION
 CASSELL / QUICK MOUNTAIN HWY
 EXPIRES: 12/31/24

DESIGN	RPM
DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024

CITY OF SISTERS
 EST. 1946

Striping Plan - Mobility Hub
 EAST PORTAL MOBILITY HUB IMPROVEMENTS
 SCALE: AS SHOWN
 DRAWING NAME
 SHEET
SS3.0

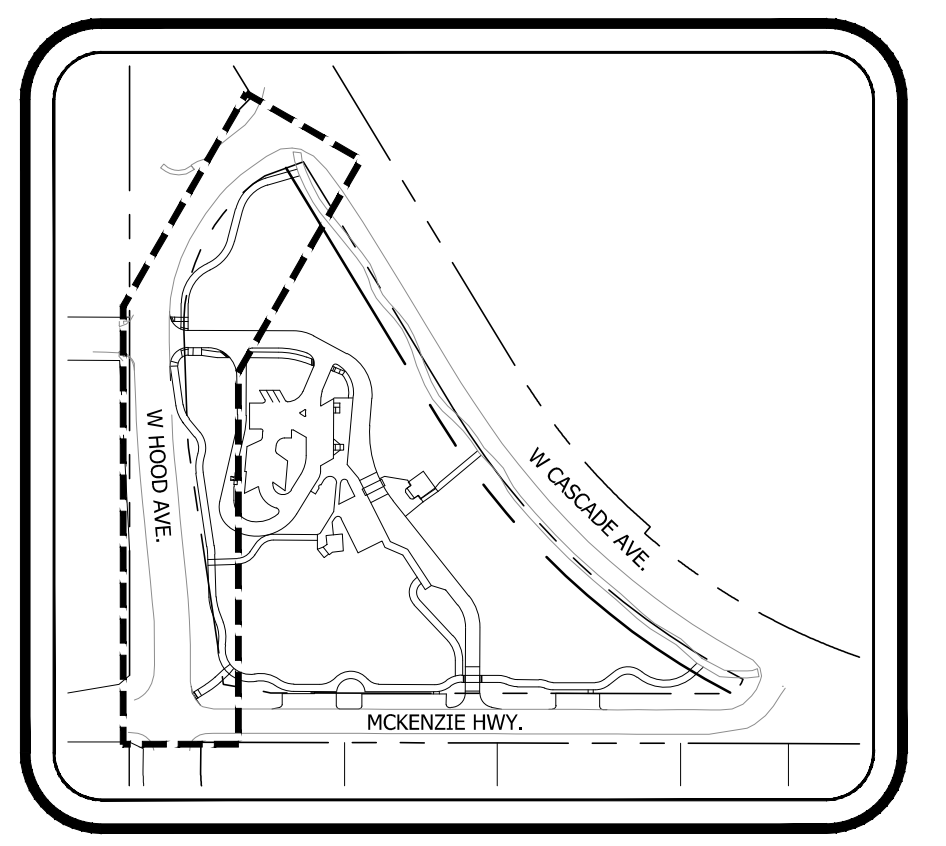


STRIPING LEGEND

- W Install 4" white line, paint
- W-2 Install 8" white line, paint
- CW Install standard crosswalk with two 1' white bars, Type B
- HC Install disabled parking detail (white), Type B
- RX W-2 Remove 8" white line

STRIPING GENERAL NOTES

1. All pavement markings shall conform to the required specifications of the Manual on Uniform Traffic Control Devices (M.U.T.C.D.) latest edition and current City of Sisters Road Standards. See ODOT Standard Drawings TM500, TM501, and TM503 on Sheet SS4.0.
2. The final layout for all pavement markings shall first be approved by the City prior to application.



KEY MAP
SCALE: NTS



REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES

851 SW 6TH AVENUE, SUITE 600
 PORTLAND, OR 97204
 P 503.228.5230 F 503.273.8169

REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 NO. 12345
 EXPIRES: 12/31/24

PRELIMINARY NOT FOR CONSTRUCTION

DESIGN	RPM
DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024

CITY OF SISTERS
EST. 1946

Striping Plan - W. Hood Ave

EAST PORTAL MOBILITY HUB IMPROVEMENTS

SCALE	AS SHOWN
DRAWING NAME	
SHEET	SS3.1

4" WHITE LINE	8" WHITE LINE	4" YELLOW LINE	CHEVRON BARS 1" WHITE BARS AT 20' SPACING	TRANSVERSE MEDIAN BARS 1" YELLOW BARS AT 20' SPACING
4" WHITE BROKEN LINE	4" YELLOW BROKEN LINE	4" WHITE DOTTED LINE For lane extensions	8" WHITE DOTTED LINE For lane extensions and bike lane extensions	4" YELLOW DOTTED LINE For lane extensions
4" WHITE DOTTED LANE LINE For lane lines in acceleration/deceleration lanes	8" WHITE DOTTED LANE LINE For lane lines in drop lanes	NO-PASS RIGHT 4" YELLOW LINES	NO-PASS LEFT 4" YELLOW LINES	TWO-WAY LEFT TURN 4" YELLOW LINES
TRANSVERSE MEDIAN BARS 1" YELLOW BARS AT 40' SPACING For use at painted medians where distance between left turn refuge exceeds 200'	DOUBLE NO-PASS TWO 4" YELLOW LINES	NARROW DOUBLE NO-PASS TWO 4" YELLOW LINES	NARROW DOUBLE NO-LANE CHANGE TWO 4" WHITE LINES	TRANSVERSE SHOULDER BARS 1" WHITE BARS AT 20' SPACING
			<p><i>The selection and use of this Standard Drawing, while designed in accordance with generally accepted engineering principles and practices, is the sole responsibility of the user and should not be used without first consulting a Registered Professional Engineer.</i></p> <p>All materials shall be in accordance with the current Oregon Standard Specifications.</p> <p>OREGON STANDARD DRAWINGS PAVEMENT MARKING STANDARD DETAIL BLOCKS</p> <p>2024</p> <p>DATE: 07-2022 REVISION: 07-2022 DESCRIPTION: Changed Min. widths for CH, TM, TM-40, and TS</p> <p>CALC. BOOK NO. N/A DATE: 07-03-2022 TM500</p>	

Effective Date: June 1, 2024 - November 30, 2024

STRAIGHT ARROW (white)	LEFT TURN ARROW (white)	RIGHT TURN ARROW (white)	LEFT TURN STRAIGHT ARROW (white)	RIGHT TURN STRAIGHT ARROW (white)
RIGHT TURN LEFT TURN ARROW (white)	RIGHT TURN STRAIGHT LEFT TURN ARROW (white)	ELONGATED STRAIGHT ARROW (white)	ELONGATED LEFT TURN ARROW (white)	ELONGATED RIGHT TURN ARROW (white)
ELONGATED LEFT TURN STRAIGHT ARROW (white)	ELONGATED RIGHT TURN STRAIGHT ARROW (white)	ELONGATED RIGHT TURN LEFT TURN ARROW (white)	ELONGATED RIGHT TURN STRAIGHT LEFT TURN ARROW (white)	FISH-HOOK LEFT TURN ARROW (white)
FISH-HOOK RIGHT TURN LEFT TURN ARROW (white)	FISH-HOOK STRAIGHT ARROW (white)	FISH-HOOK RIGHT TURN STRAIGHT ARROW (white)	FISH-HOOK LEFT TURN STRAIGHT ARROW (white)	FISH-HOOK RIGHT TURN STRAIGHT LEFT TURN ARROW (white)
			<p><i>The selection and use of this Standard Drawing, while designed in accordance with generally accepted engineering principles and practices, is the sole responsibility of the user and should not be used without first consulting a Registered Professional Engineer.</i></p> <p>All materials shall be in accordance with the current Oregon Standard Specifications.</p> <p>OREGON STANDARD DRAWINGS PAVEMENT MARKING STANDARD DETAIL BLOCKS</p> <p>2024</p> <p>DATE: 07-2022 REVISION: 07-2022 DESCRIPTION: Same Detail Blocks moved to new Std. Drawing TM502</p> <p>CALC. BOOK NO. N/A DATE: 07-03-2022 TM501</p>	

Effective Date: June 1, 2024 - November 30, 2024

SPEED BUMP MARKING (WHITE)

STANDARD CROSSWALK TWO 1" WHITE BARS	STAGGERED CONTINENTAL CROSSWALK	STOP BAR 1" WHITE BAR	STOP BAR - LARGE 2" WHITE BAR	RAMP METER STOP BAR 1" & 3" WHITE BARS
BIKE RIGHT TURN STENCIL (white)	BIKE LANE STANDARD STENCIL (white)	BIKE LEFT TURN STENCIL (white)	BIKE RIGHT TURN STRAIGHT STENCIL (white)	BIKE LEFT TURN STRAIGHT STENCIL (white)
SHARED LANE MARKING (white)	BIKE STENCIL (white)	BICYCLE DETECTOR MARKING (white)	GREEN SUPPLEMENTAL BICYCLE LANE SOLID LINE (green)	GREEN SUPPLEMENTAL BICYCLE LANE DOTTED LINE EXTENSION (green)
BUS (white)	ONLY (white)	SCHOOL (white)	SCHOOL - LARGE (white)	CROSSING - LARGE (white)
		<p><i>The selection and use of this Standard Drawing, while designed in accordance with generally accepted engineering principles and practices, is the sole responsibility of the user and should not be used without first consulting a Registered Professional Engineer.</i></p> <p>All materials shall be in accordance with the current Oregon Standard Specifications.</p> <p>OREGON STANDARD DRAWINGS PAVEMENT MARKING STANDARD DETAIL BLOCKS</p> <p>2024</p> <p>DATE: 07-2022 REVISION: 07-2022 DESCRIPTION: Added new On-Street Parking Detail</p> <p>CALC. BOOK NO. N/A DATE: 07-08-2022 TM503</p>		

Effective Date: June 1, 2024 - November 30, 2024

REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES
851 SW 6TH AVENUE, SUITE 600
PORTLAND, OR 97204
P 503.228.5230 F 503.273.8169

REGISTERED PROFESSIONAL ENGINEER
EXPIRES: 12/31/24

DESIGN: RPM
DRAFTED: CCT/ATW
CHECKED: AMR
DATE: June 2024

CITY OF SISTERS
EST. 1946

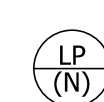
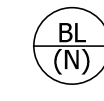
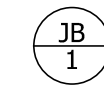
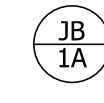

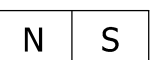
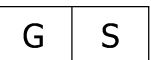
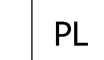

SCALE: AS SHOWN
DRAWING NAME: Striping Details
SHEET: SS4.0

EAST PORTAL MOBILITY HUB IMPROVEMENTS

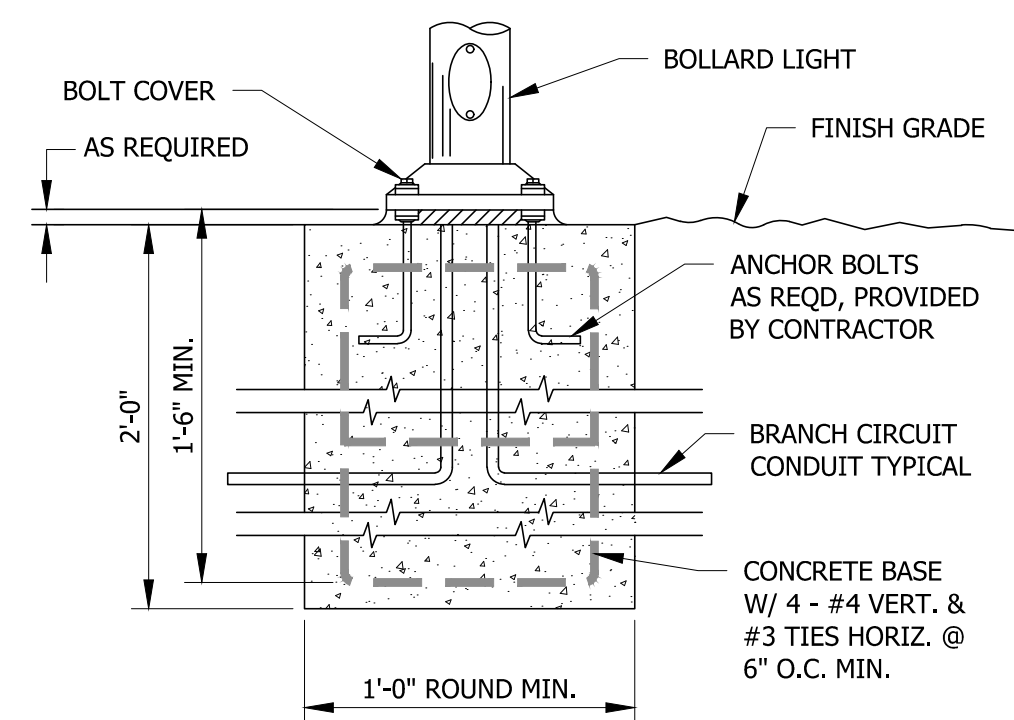
GENERAL NOTES

- All illumination related work other than pole foundation shall be paid for at the contract price for "Switching, conduit, and wiring - Lump Sum."
- Foundations, junction boxes, and conduit shall be installed at locations shown on plans. If conflicts arise, foundation, junction box, and conduit locations may be modified in the field per engineer's approval. All lighting equipment must be placed within the right-of-way. Place conduit in same trench as other conduits whenever possible.
- Location of all existing utilities shall be verified prior to beginning any work. Coordinate all work with utility companies to eliminate conflicts.
- Final light pole location(s) shall be approved in the field by the engineer prior to foundation installation.
- This illumination plans set is accompanied by Oregon Department of Transportation (ODOT) Standard Drawing TM300 & TM301.
- All conduit elbows shall be factory made and be long radius 36". For conduit runs longer than 150' or containing more than 270 degrees of bends, elbows shall be fiberglass.
- Contractor to coordinate with Central Electric Cooperative (CEC) ten (10) business days in advance of commencing illumination work. Contact Dan McDevitt (dmcdevitt@cec.coop // 541.312.3549).
- Light levels are based on ANSI/IES RP-8-18, Design and Maintenance of Roadway and Parking Facility Lighting criteria.
- Conduit runs and junction box locations shown are schematic. Place junction boxes in a flat area (<2%), accessible to maintenance personnel.

ILLUMINATION LEGEND

-  Install aluminum light pole (LP) with evluma RX2-070-E3-T3-G1 fixture or approved equal, pole number (N). Foundation shall be Utility Vault precast concrete (part 5CL-LB), or approved equal.
-  Install bollard light (BL) per detail on this sheet, bollard number (N). KIM Lighting part #: VSB/10LXKU/XX Vandal Proof Contractor shall submit bollard light specification sheet to Owner for approval prior to installation; bollard light shall be light emitting diode (LED) type luminaire; bollard light shall also be compliant with City of Sisters Ordinance No 251 H (Dark Skies); bollard shall be aluminum material and earth-tone in color; contractor shall install conduit and wire to existing shared-use path electrical circuit; contractor to coordinate with City of Sisters for connection to circuit.
-  Install 17"x10"x12" (min dimension) precast concrete junction box
-  Install 17"x10"x12" (min dimension) precast concrete junction box with concrete apron
-  Install (S=size) inch electrical conduit
-  Install (N=number) No. (S=AWG wire size) XHHN wires
-  Install Ground (S=AWG wire size) XHHN wires
-  Install poly pull line
-  Install BMCL

AREA	DESIGN LIGHTING RESULTS		
		Average Illuminance (fc)	Uniformity
MAIN PARKING LOT	Max: 12.0 Min: 0.1	1.9	18.8 : 1
BUS TURNOUT	Max: 7.4 Min: 0.1	1.6	15.9 : 1
MOTORHOME DUMPING	Max: 9.5 Min: 0.1	1.7	16.5 : 1



NOTE: DESIGN BASED ON KIM LIGHTING PART # VSB1/10LXKU/XX VANDAL PROOF. CONTRACTOR SHALL SUBMIT BOLLARD LIGHT SPECIFICATION SHEET TO OWNER FOR APPROVAL PRIOR TO INSTALLATION.

BOLLARD LIGHT SHALL BE LIGHT EMITTING DIODE (LED) TYPE LUMINAIRE. BOLLARD LIGHT SHALL ALSO BE COMPLIANT WITH CITY OF SISTERS ORDINANCE NO. 251 H (DARK SKIES). BOLLARD SHALL BE ALUMINUM MATERIAL AND EARTH-TONE IN COLOR.

CONTRACTOR SHALL INSTALL PER MANUFACTURER RECOMMENDATIONS AND SHALL PROVIDE ALL HARDWARE AND APPURTENANCES NECESSARY FOR A COMPLETED FUNCTIONAL BOLLARD LIGHT.

CONCRETE BASE AND BOLLARD LIGHT
NOT TO SCALE

REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES

851 SW 6TH AVENUE, SUITE 600
PORTLAND, OR 97204
P 503.228.5230 F 503.273.8169

REGISTERED PROFESSIONAL ENGINEER
EXPIRES: 12/31/24

PRELIMINARY NOT FOR CONSTRUCTION

DESIGN	RPM
DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024

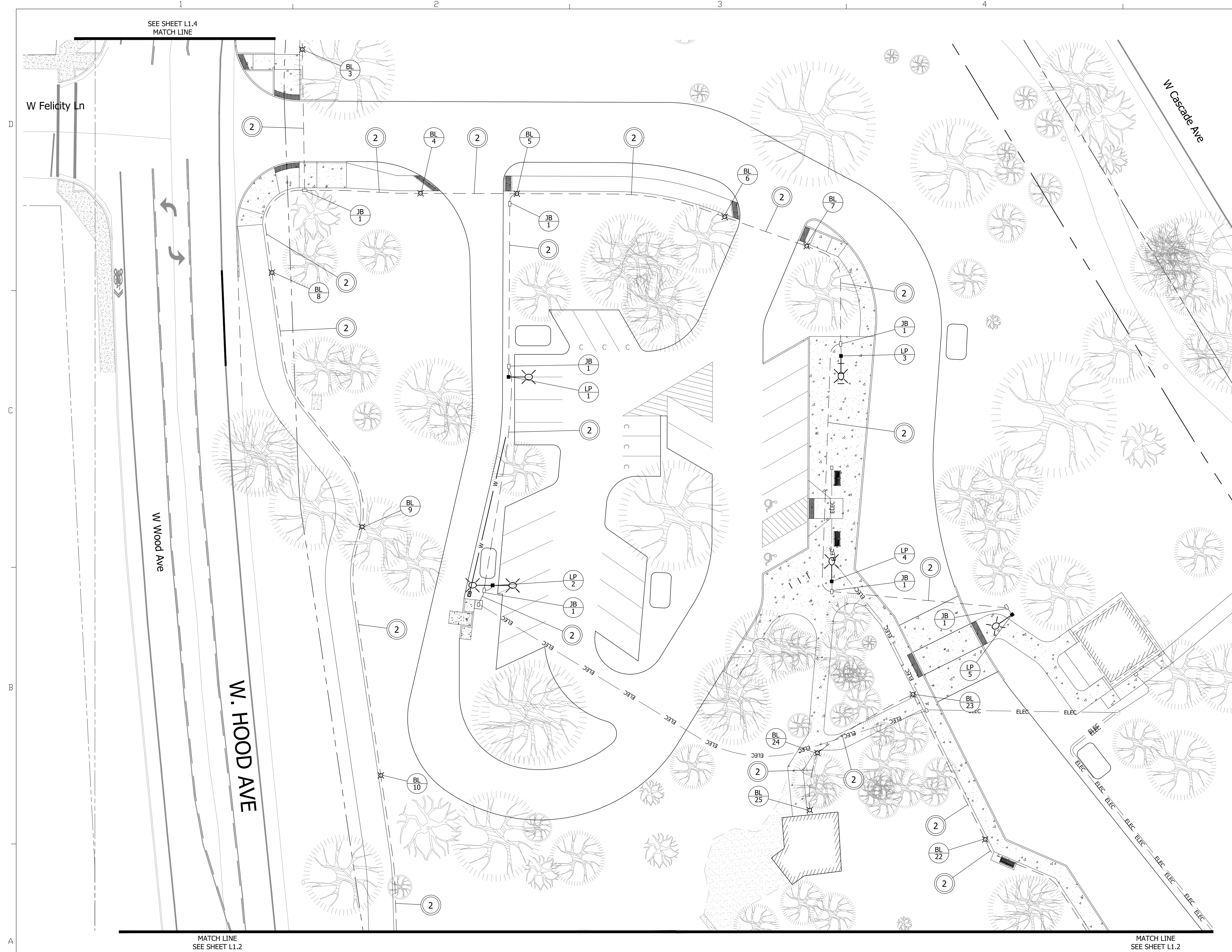


CITY OF SISTERS
EST. 1946

ILLUMINATION PLAN

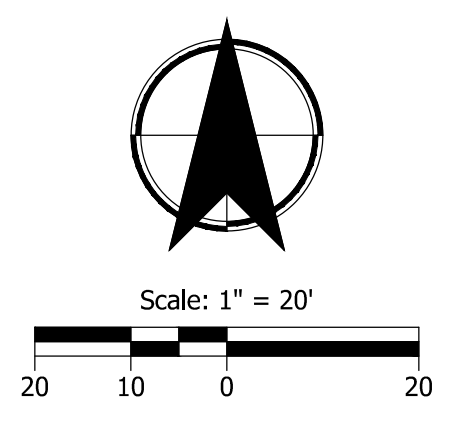
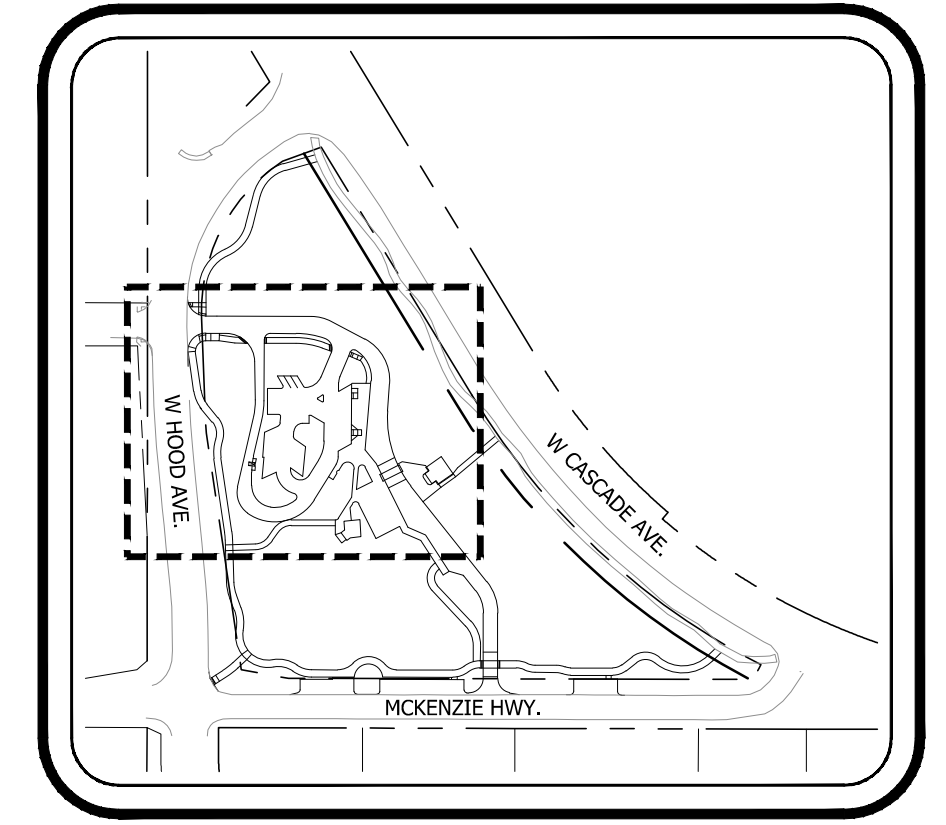
EAST PORTAL MOBILITY HUB IMPROVEMENTS

SCALE	AS SHOWN
DRAWING NAME	
SHEET	L1.0



ILLUMINATION LEGEND

- Install aluminum light pole (LP) with evluma RX2-070-E3-T3-G1 fixture or approved equal, pole number (N). Foundation shall be Utility Vault precast concrete (part 5CL-LB), or approved equal.
- Install bollard light (BL) per detail on this sheet, bollard number (N). KIM Lighting part #: VSB/10LXKU/XX Vandal Proof
Contractor shall submit bollard light specification sheet to Owner for approval prior to installation; bollard light shall be light emitting diode (LED) type luminaire; bollard light shall also be compliant with City of Sisters Ordinance No 251 H (Dark Skies); bollard shall be aluminum material and earth-tone in color; contractor shall install conduit and wire to existing shared-use path electrical circuit; contractor to coordinate with City of Sisters for connection to circuit.
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- Install Ground (S=AWG wire size) XHHN wires
- Install poly pull line
- Install BMCL



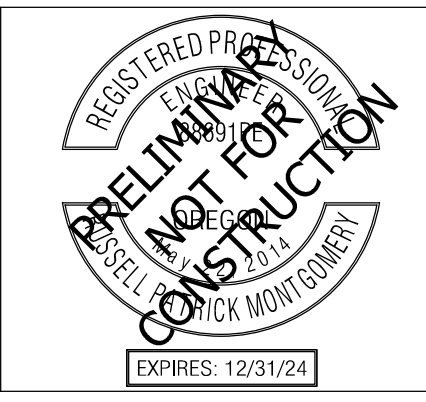
REV.	DESCRIPTION	APPR.	DATE

REVISIONS

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES

851 SW 6TH AVENUE, SUITE 600
PORTLAND, OR 97204
P 503.228.5230 F 503.273.8169



DESIGN: RPM
DRAFTED: CCT/ATW
CHECKED: AMR
DATE: June 2024

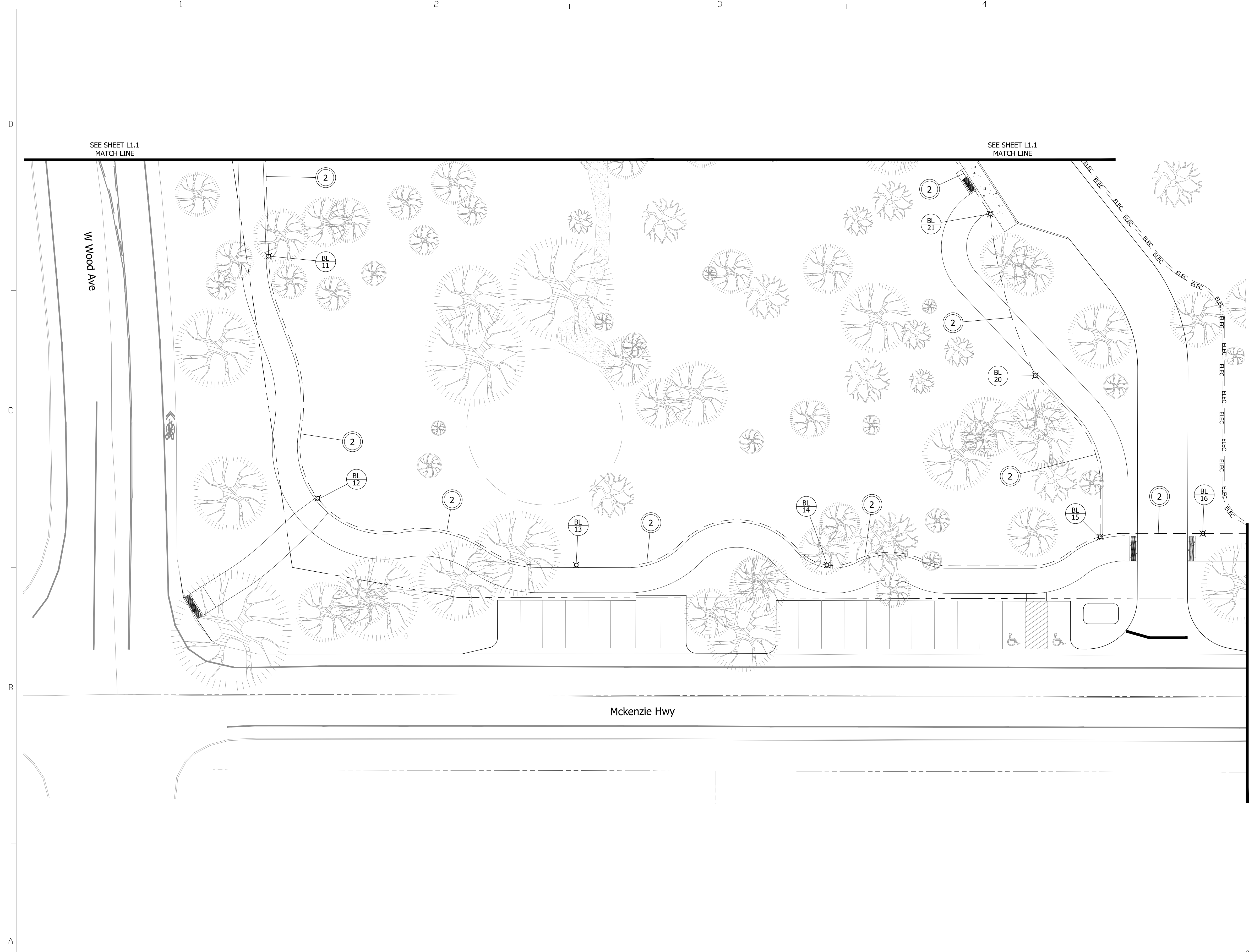


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



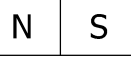
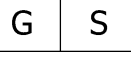


DRAWING NAME: ILLUMINATION PLAN

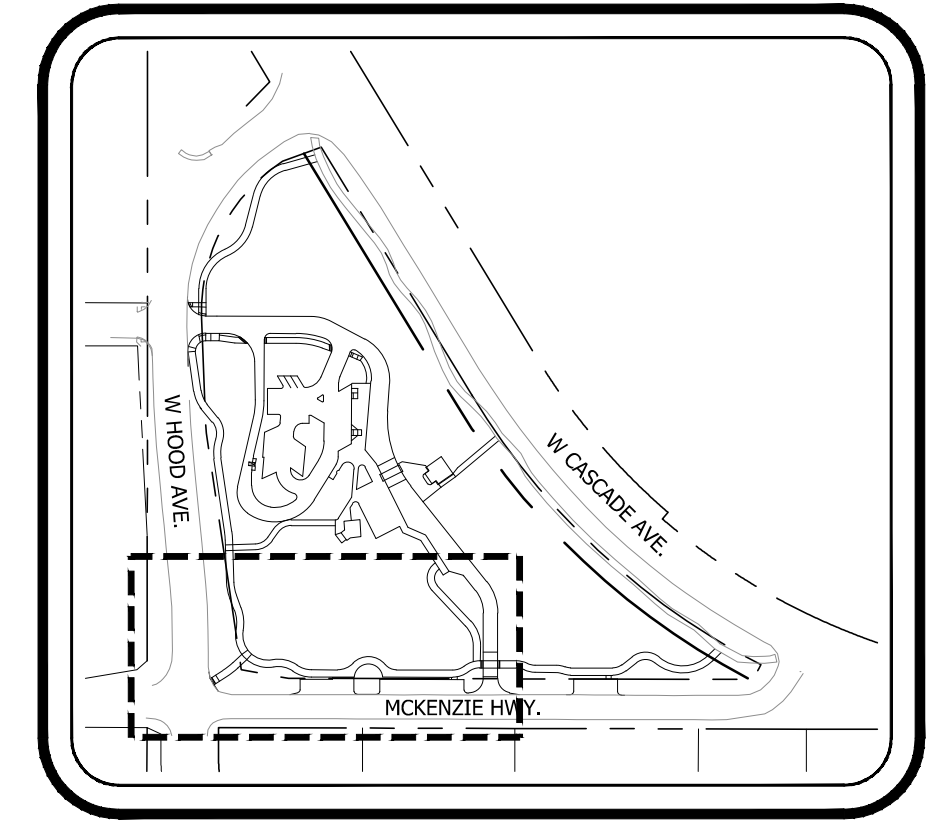
SHEET: EAST PORTAL MOBILITY HUB IMPROVEMENTS

L1.1

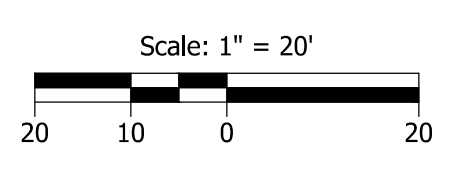
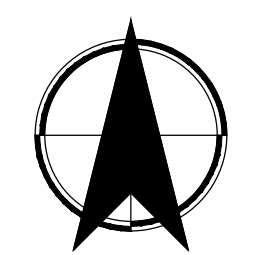


ILLUMINATION LEGEND

-  Install aluminum light pole (LP) with evluma RX2-070-E3-T3-G1 fixture or approved equal, pole number (N). Foundation shall be Utility Vault precast concrete (part 5CL-LB), or approved equal.
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-  Install poly pull line
-  Install BMCL



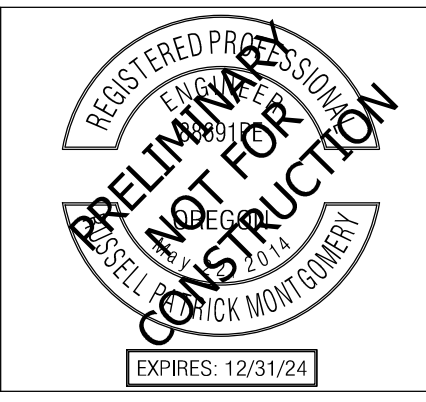
KEY MAP
SCALE: NTS



REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES
 851 SW 6TH AVENUE, SUITE 600
 PORTLAND, OR 97204
 P 503.228.5230 F 503.273.8169



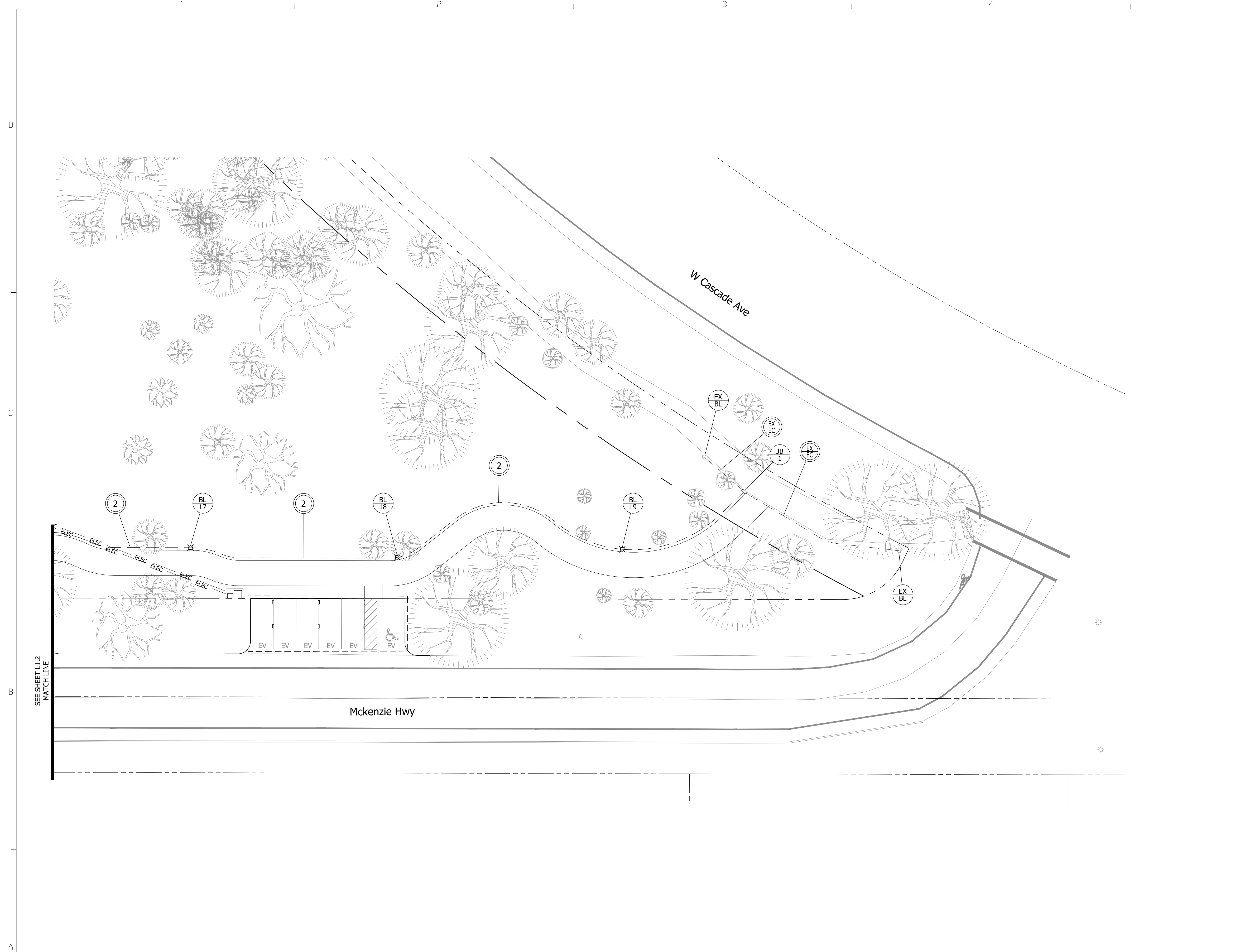
DESIGN	RPM
DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024



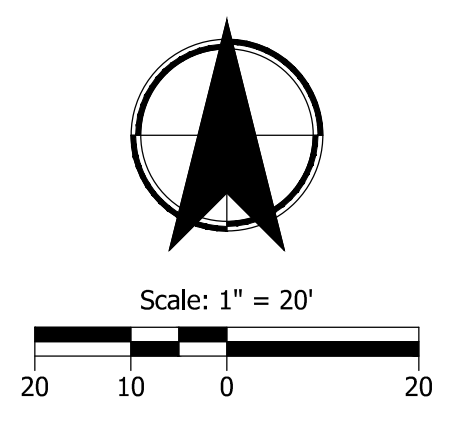
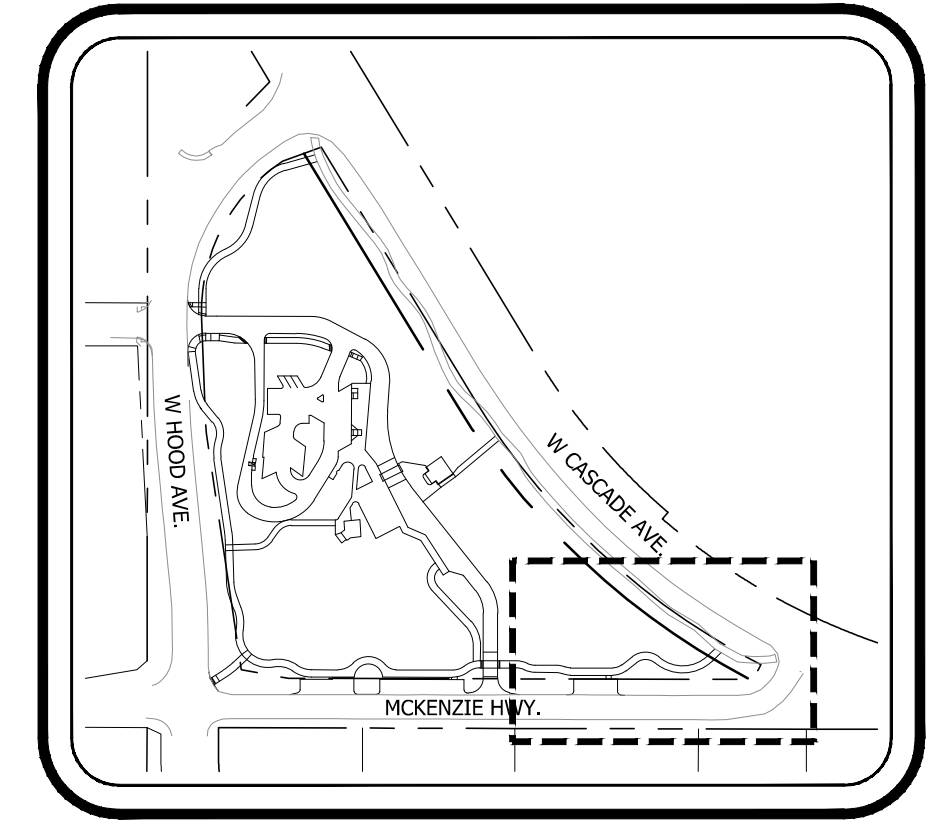
ILLUMINATION PLAN

EAST PORTAL MOBILITY HUB IMPROVEMENTS

SCALE	AS SHOWN
DRAWING NAME	
SHEET	L1.2



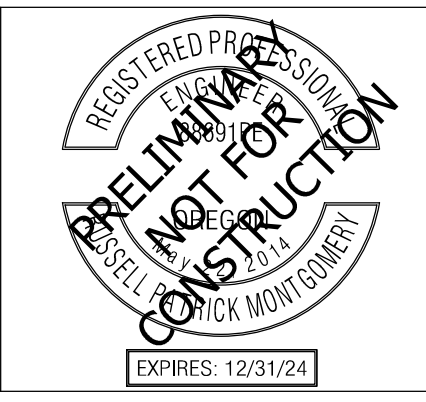
- ### ILLUMINATION LEGEND
- Install aluminum light pole (LP) with evluma RX2-070-E3-T3-G1 fixture or approved equal, pole number (N). Foundation shall be Utility Vault precast concrete (part 5CL-LB), or approved equal.
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REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES
 851 SW 6TH AVENUE, SUITE 600
 PORTLAND, OR 97204
 P 503.228.5230 F 503.273.8169

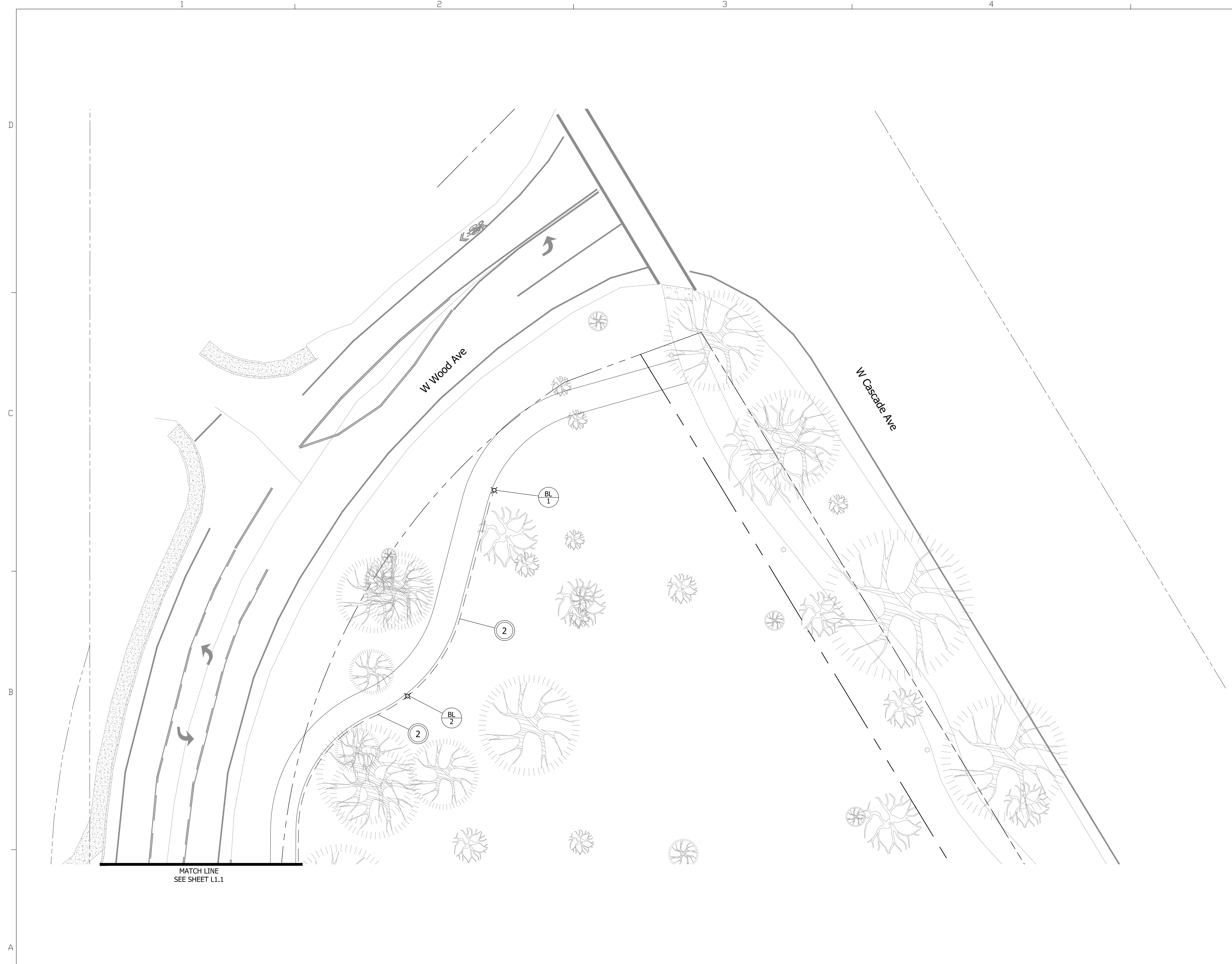


DESIGN	RPM
DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024






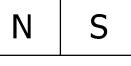
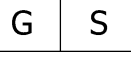




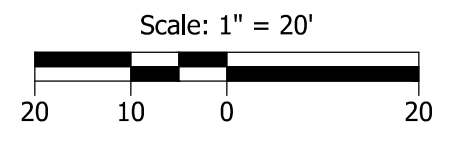
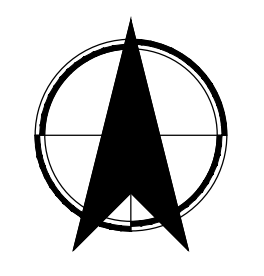
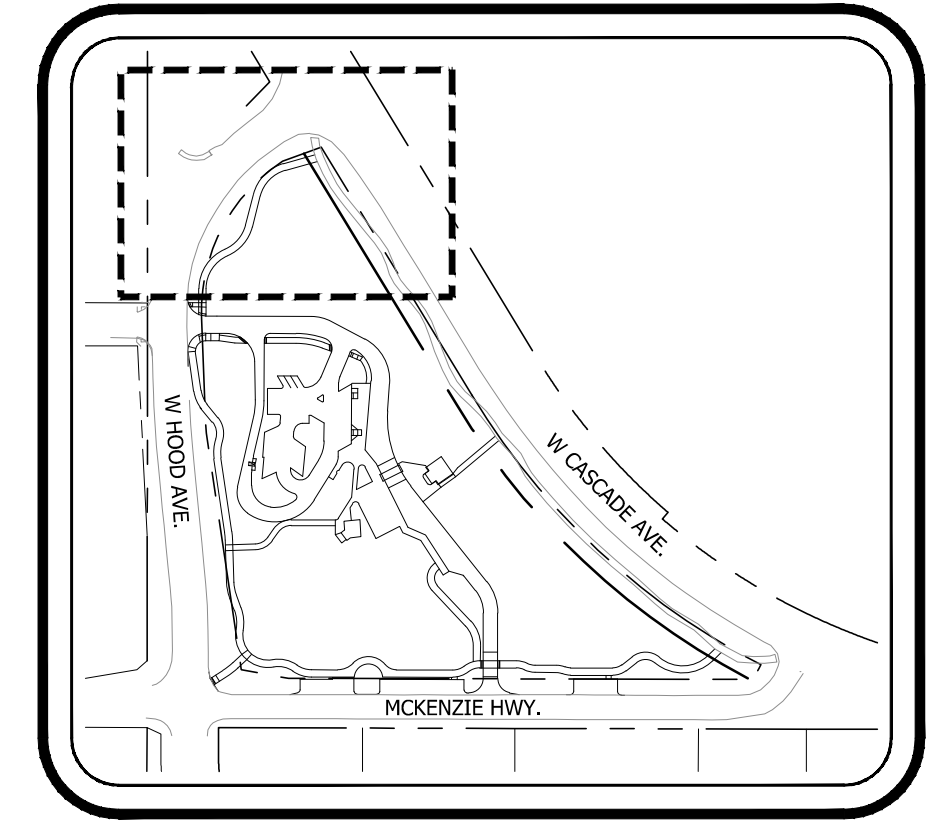
ILLUMINATION PLAN
 EAST PORTAL MOBILITY HUB IMPROVEMENTS

SCALE	AS SHOWN
DRAWING NAME	
SHEET	L1.3



ILLUMINATION LEGEND

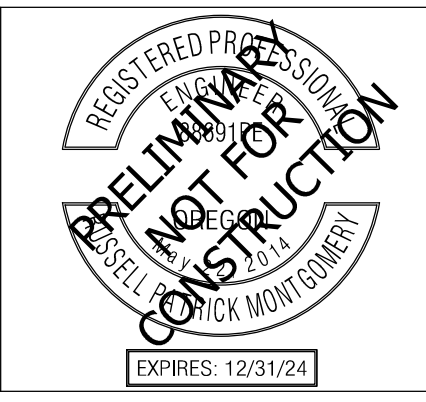
-  Install aluminum light pole (LP) with evluma RX2-070-E3-T3-G1 fixture or approved equal, pole number (N). Foundation shall be Utility Vault precast concrete (part 5CL-LB), or approved equal.
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-  Install Ground (S=AWG wire size) XHHN wires
-  Install poly pull line
-  Install BMCL



REVISIONS			
REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES
 851 SW 6TH AVENUE, SUITE 600
 PORTLAND, OR 97204
 P 503.228.5230 F 503.273.8169

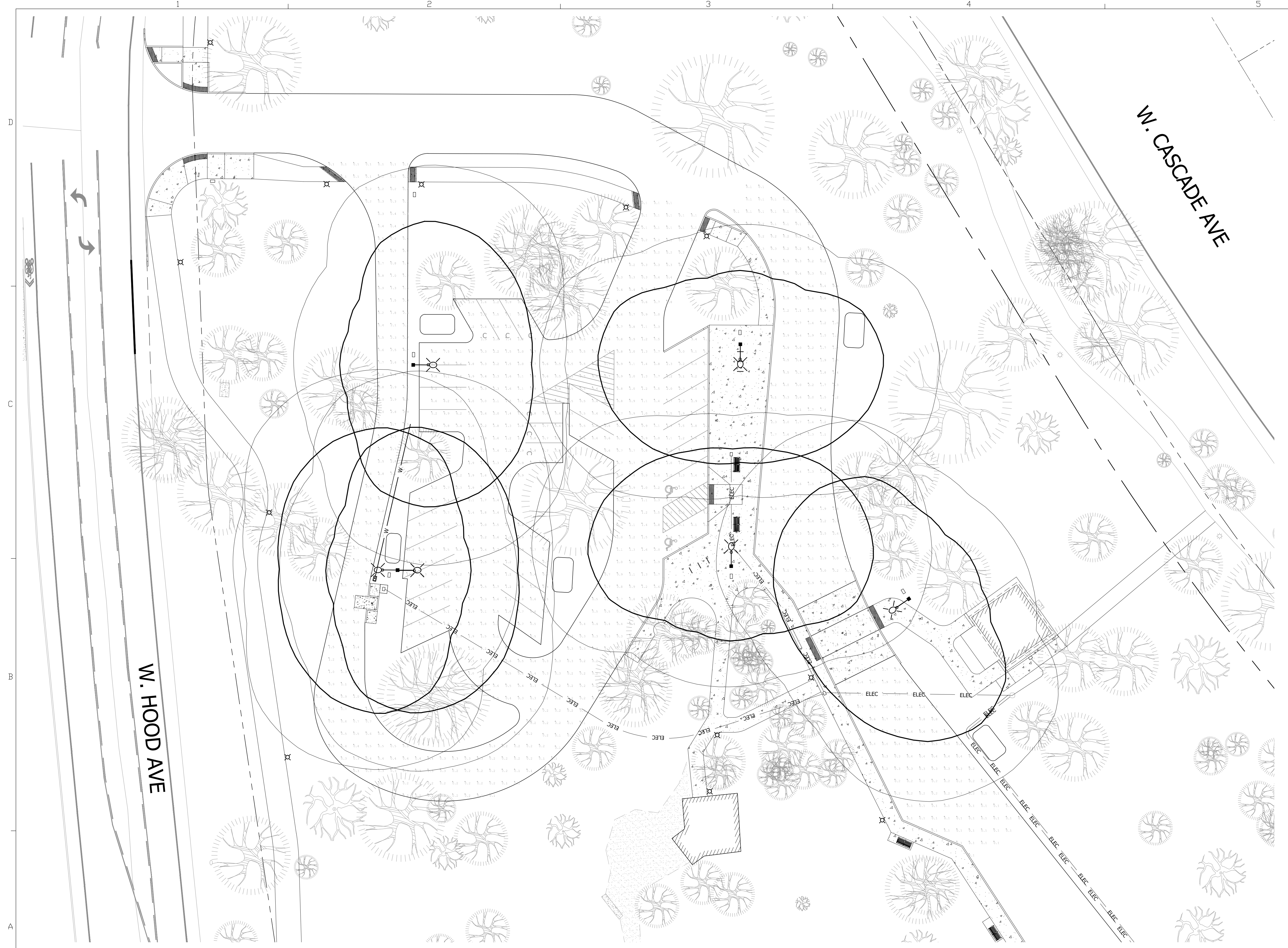


DESIGN	RPM
DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024

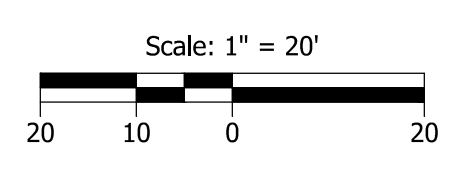
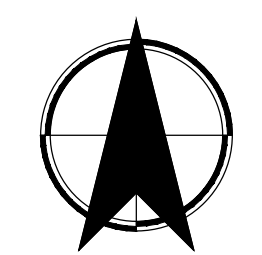


ILLUMINATION PLAN
 EAST PORTAL MOBILITY HUB IMPROVEMENTS

SCALE	AS SHOWN
DRAWING NAME	
SHEET	L1.4



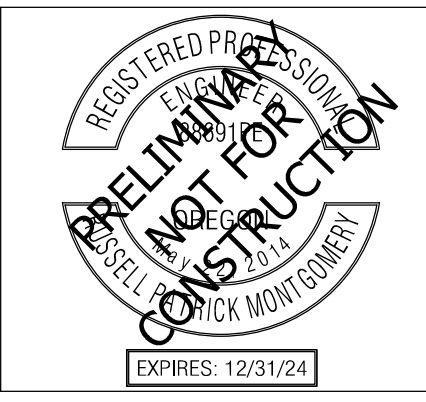
AREA	DESIGN LIGHTING RESULTS		
		Average Illuminance (fc)	Uniformity
MAIN PARKING LOT	Max: 12.0 Min: 0.1	1.9	18.8 : 1
BUS TURNOUT	Max: 7.4 Min: 0.1	1.6	15.9 : 1
MOTORHOME DUMPING	Max: 9.5 Min: 0.1	1.7	16.5 : 1



REV.	DESCRIPTION	APPR.	DATE

REFERENCE INFORMATION:

KITTELSON & ASSOCIATES
 851 SW 6TH AVENUE, SUITE 600
 PORTLAND, OR 97204
 P 503.228.5230 F 503.273.8169



DESIGN	RPM
DRAFTED	CCT/ATW
CHECKED	AMR
DATE	June 2024



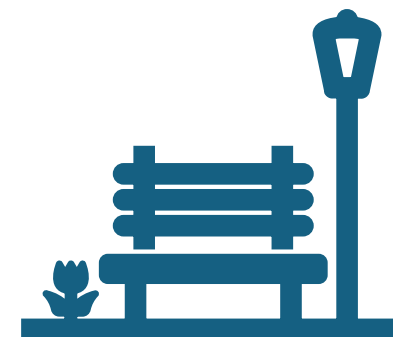
AGI LUMINAIRE CALCULATIONS
 EAST PORTAL MOBILITY HUB IMPROVEMENTS

SCALE AS SHOWN
 DRAWING NAME
 SHEET **L1.5**

Sisters East Portal Mobility Hub



- Conceptual Site Plan and Phasing – Master Planning process.
- Current site plan from 90% plans.
- Tree Preservation Layout.
- Cost Estimate







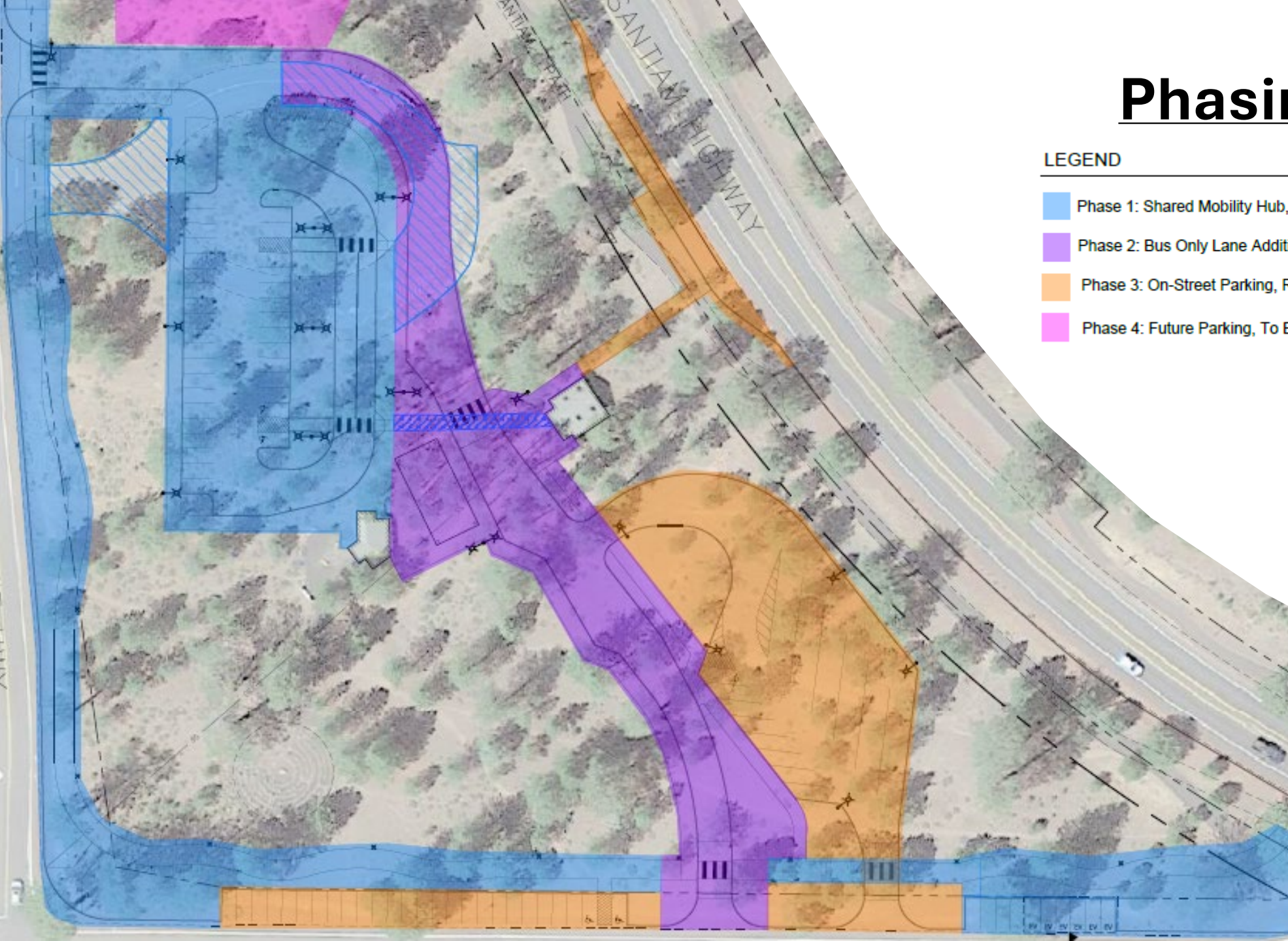
Conceptual Site Plan



Phasing Plan

LEGEND

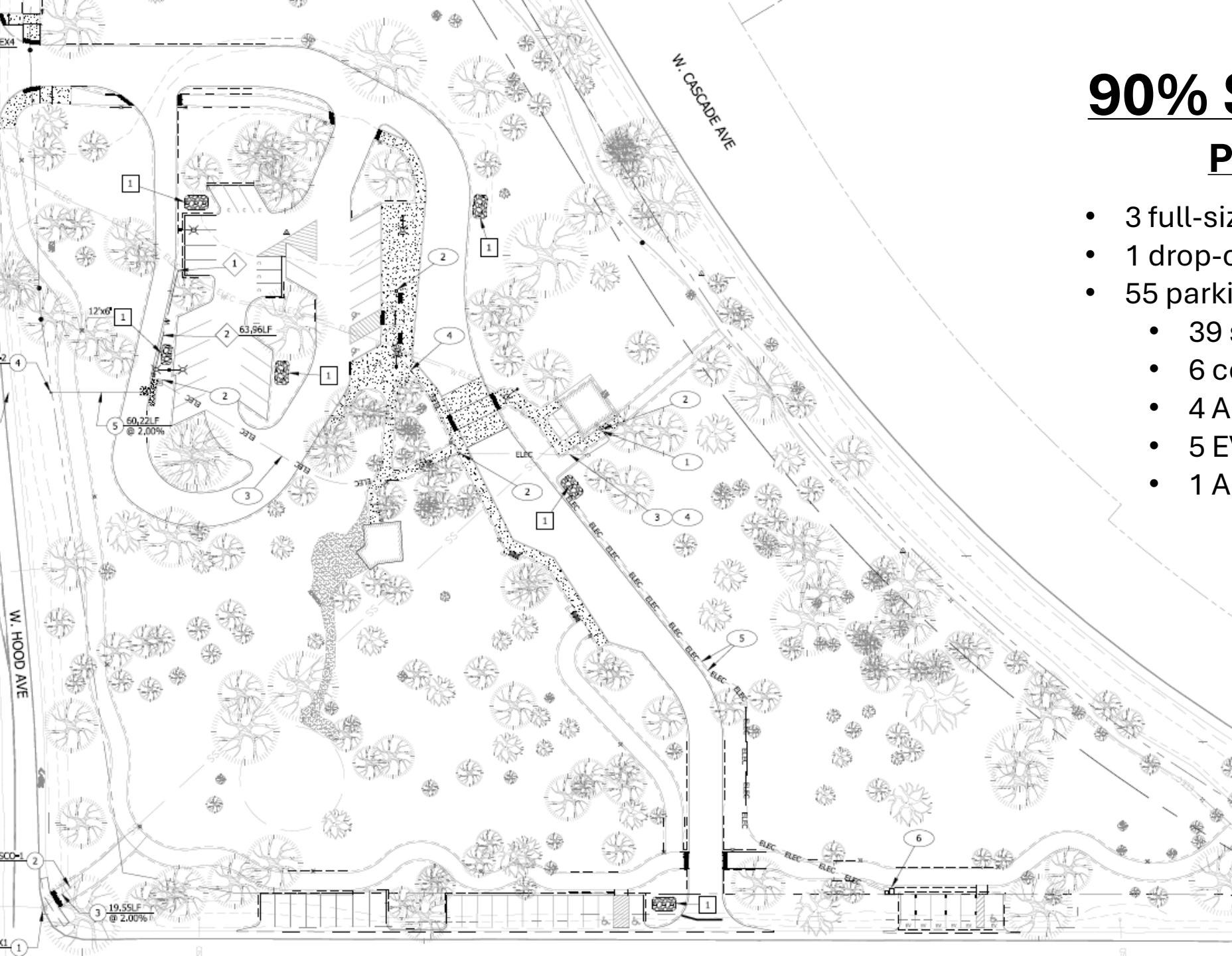
-  Phase 1: Shared Mobility Hub, Covered EV Charging, and Trails
-  Phase 2: Bus Only Lane Addition
-  Phase 3: On-Street Parking, RV Parking, and Hwy 20 Bus Pull-Out
-  Phase 4: Future Parking, To Be Determined



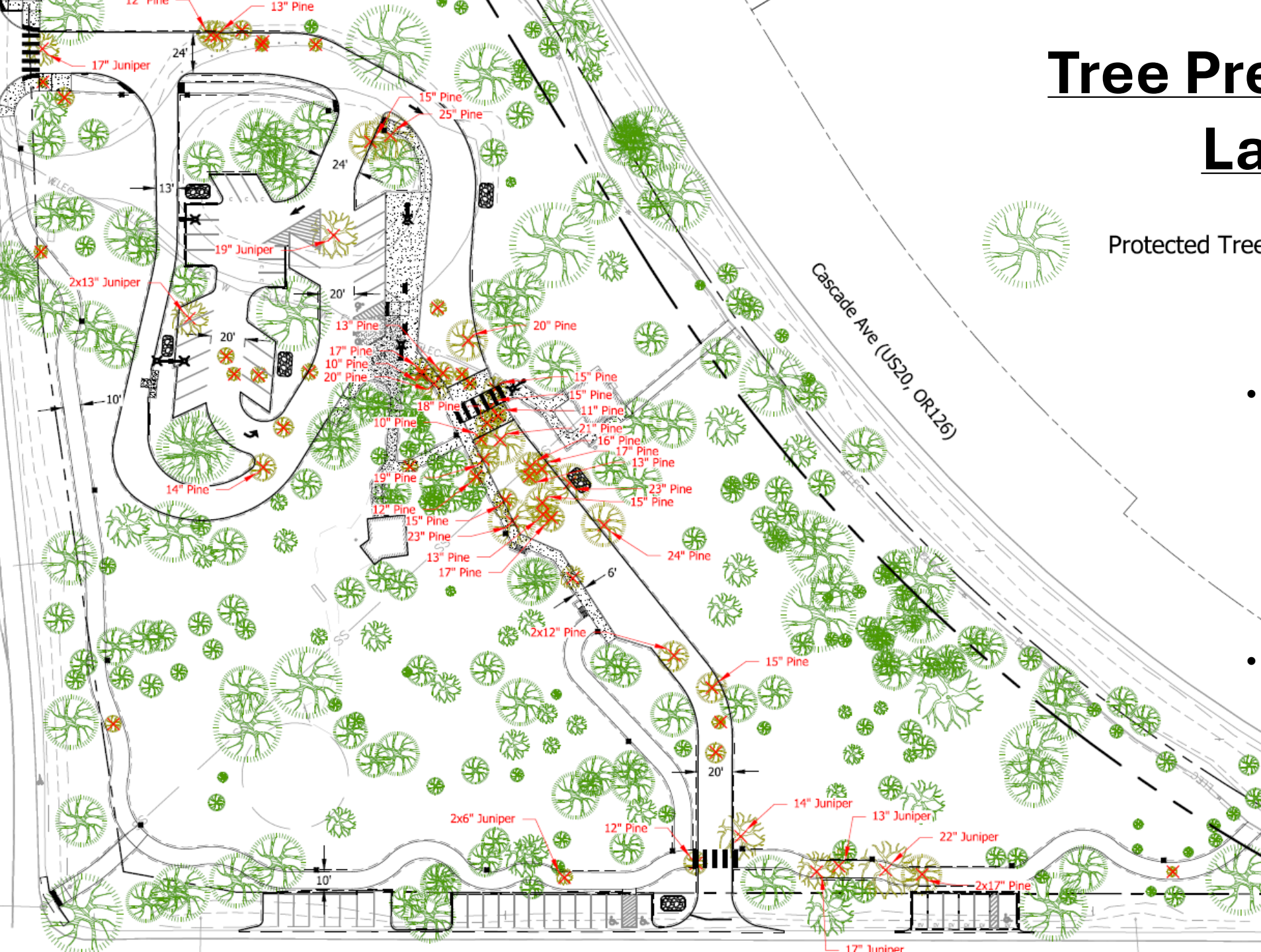
90% Site Plan

Phase 1

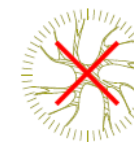
- 3 full-sized transit stops
- 1 drop-off zone
- 55 parking stalls total
 - 39 standard stalls
 - 6 compact
 - 4 ADA stalls
 - 5 EV stalls
 - 1 ADA EV stall



Tree Preservation Layout



Protected Tree



Removed Tree

- 61 trees marked for removal.
 - 21 trees are less than 12 inches DBH
 - 40 trees are equal to or greater than 12 inches DBH.
- Redesign of layout reduced number of trees marked for removal by 11.

Cost Estimate

Page 1 of 3

Engineer's 100% PS&E Estimate

Prepared By: Russell Montgomery, PE	Date: June, 2024
Reviewed By: Tony Roos, PE	

		This Estimate has a Rating of: 1A (See rating scale guide below.)			
ITEM	UNIT	TOTAL QUANTITY	UNIT PRICE	TOTAL COST	
1	Extra Work as Authorized	AA	AA	\$0.00	\$0.00
EXTRA WORK SUBTOTAL				\$	-
MOBILIZATION AND TRAFFIC CONTROL (00200)					
2	Mobilization (00210)	LS	ALL	\$82,000.00	\$82,000.00
3	Temporary Work Zone Traffic Control, Complete (00221)	LS	ALL	\$28,000.00	\$28,000.00
4	Temporary 4' Plastic Orange Tree Protection Fence (00270)	LF	5,500	\$2.00	\$11,000.00
5	Erosion Control (00280)	LS	ALL	\$9,000.00	\$9,000.00
6	Construction Entrance, Type 1 (00280)	EA	1	\$4,000.00	\$4,000.00
7	Concrete Washout Facility (00280)	EA	1	\$3,500.00	\$3,500.00
8	Inlet Protection, Type 3 (00280)	EA	7	\$250.00	\$1,750.00
MOBILIZATION AND TRAFFIC CONTROL SUBTOTAL				\$	139,250
ROADWORK (00300)					
9	Construction Survey Work (00305)	LS	ALL	\$15,000.00	\$15,000.00
10	Removal of Structures and Obstructions (00310)	LS	ALL	\$9,000.00	\$9,000.00
11	Removal of Surfacing (00300)	SY	1,500	\$25.00	\$37,500.00
12	Clearing and Grubbing (00320)	AC	2.0	\$20,000.00	\$40,000.00
13	Embankment in Place (00330)	CY	2,800	\$30.00	\$84,000.00
ROADWORK SUBTOTAL				\$	185,500
DRAINAGE AND SEWERS (00400)					
14	6" - 3" Drain Rock, No Fines (00431)	CY	45	\$120.00	\$5,400.00
15	6 Inch Sanitary Sewer Pipe, 5 ft Depth (00445)	LF	61	\$150.00	\$9,150.00
16	6 Inch Sanitary Sewer Cleanout (00470)	EA	1	\$1,500.00	\$1,500.00
17	Adjusting Boxes (00490)	EA	1	\$700.00	\$700.00
DRAINAGE AND SEWERS SUBTOTAL				\$	16,750
BASES (00600)					
18	Aggregate Base and Shoulders (00641)	TONS	3,200	\$45.00	\$144,000.00
BASES SUBTOTAL				\$	144,000
WEARING SURFACES (00700)					
19	Level 2, 1/2 inch Dense ACP (00744)	TONS	970	\$145.00	\$140,650.00
20	Concrete Raised Crossings with Impact Slabs (00755)	SY	125	\$210.00	\$26,250.00
21	Concrete Curbs, Standard Curb (00759)	LF	850	\$40.00	\$34,000.00
22	Concrete Walks (00759)	SF	7,000	\$12.00	\$84,000.00
23	Truncated Domes on New Surfaces (00759)	SF	220	\$45.00	\$9,900.00
24	Extra for New Curb Ramps (00759)	EA	5	\$2,300.00	\$11,500.00
WEARING SURFACES SUBTOTAL				\$	306,300



Cost Estimate

Page 2 of 3

ITEM	UNIT	TOTAL QUANTITY	UNIT PRICE	TOTAL COST	
PERMANENT TRAFFIC CONTROL AND GUIDANCE DEVICES (00800)					
25	Longitudinal Pavement Markings - Paint (00860)	LF	1,000	\$1.00	\$1,000.00
26	Pavement Legend, Type B: Arrows (00867)	EA	3	\$350.00	\$1,050.00
27	Pavement Legend, Type B: "ONLY" (00867)	EA	3	\$800.00	\$2,400.00
28	Pavement Legend, Type B: "BUS" (00867)	EA	1	\$600.00	\$600.00
29	Pavement Legend, Type B: Disabled Parking (00867)	EA	3	\$500.00	\$1,500.00
30	Pavement Legend, Type B: "RV" (00867)	EA	1	\$400.00	\$400.00
31	Pavement Legend, Type B: "DO NOT ENTER" (00867)	EA	3	\$2,000.00	\$6,000.00
32	Pavement Legend, Type B: "C" (00867)	EA	6	\$100.00	\$600.00
33	Pavement Legend, Type B: Speed Bump Marking (00867)	EA	2	\$400.00	\$800.00
34	Pavement Bar, Type B (00867)	SF	320	\$12.50	\$4,000.00
PERMANENT TRAFFIC CONTROL AND GUIDANCE DEVICES SUBTOTAL					
				\$	18,350
PERMANENT TRAFFIC CONTROL & ILLUMINATION SYSTEMS (00900)					
35	Remove Existing Signs (00905)	LS	ALL	\$900.00	\$900.00
36	Sign Support Footings (00920)	LS	ALL	\$7,200.00	\$7,200.00
37	Perforated Steel Square Tube Anchor Sign Supports (00930)	LS	ALL	\$6,400.00	\$6,400.00
38	Signs, Standard Sheeting, Extruded Aluminum (00940)	SF	84	\$40.00	\$3,360.00
39	Pole Foundations (00970)	LS	ALL	\$35,750.00	\$35,750.00
40	Lighting Poles and Arms (00970)	LS	ALL	\$11,770.00	\$11,770.00
41	Luminaires, Lamps, and Ballasts (00970)	LS	ALL	\$17,050.00	\$17,050.00
41	Switching, Conduit, and Wiring (00970)	LS	ALL	\$108,150.00	\$108,150.00
42	644 Utility Vault (00999)	EA	1	\$6,500.00	\$6,500.00
PERMANENT TRAFFIC CONTROL & ILLUMINATION SYSTEMS SUBTOTAL					
				\$	197,080
RIGHT-OF-WAY DEVELOPMENT (01000)					
43	Permanent Landscaping (01030)	SF	3,450	\$1.50	\$5,175.00
44	Topsoil (01040)	CY	130	\$60	\$7,800.00
45	Benches, Type Gretchen Bench with Loop Armrests (01095)	EA	4	\$3,200	\$12,800.00
46	Bicycle Racks (01095)	EA	6	\$1,100	\$6,600.00
RIGHT-OF-WAY DEVELOPMENT SUBTOTAL					
				\$	32,375
WATER SUPPLY SYSTEMS (01100)					
47	2 Inch Connection to 2 Inch Existing Service (01140)	EA	1	\$1,200	\$1,200.00
48	2 Inch Ball Valve Assembly (01150)	EA	1	\$2,000	\$2,000.00
49	2 Inch Pex Water Service Line (01170)	LF	64	\$80	\$5,120.00
WATER SUPPLY SYSTEMS SUBTOTAL					
				\$	8,320
CONSTRUCTION SUBTOTAL					
				\$	1,047,925
15% Contingency					
				\$	158,000
TOTAL CONSTRUCTION COST					
				\$	1,205,925
BID ALTERNATE WITH CONTINGENCY					
50	McKenzie Hwy On-Street Parking & Drainage Improvements	LS	1	\$53,550	\$53,550.00
TOTAL CONSTRUCTION COST W/ BID ALTERNATE					
				\$	1,259,475



Cost Estimate

Page 3 of 3

**East Portal Mobility Hub Phase 1
City of Sisters**



Engineer's 100% PS&E Estimate

<i>Prepared By: Russell Montgomery, PE</i>		<i>Date: June, 2024</i>		
<i>Reviewed By: Tony Roos, PE</i>				
<i>This Estimate has a Rating of:</i>		1A <i>(See rating scale guide below.)</i>		
ITEM	UNIT	TOTAL QUANTITY	UNIT PRICE	TOTAL COST

Unit Costs Note:

The associated product and material costs are based upon the most recent available cost data. Due to the current volatility of the construction market, we cannot guarantee these costs for any duration of time.

Scope Accuracy:

Level 1: Project scope well understood and well defined.

Level 2: Project scope conceptual. Scope lacks detail due to potential permit requirements; Unknown project conditions; limited knowledge of external impacts.

Level 3: Project scope is a "vision" with limited detail.

Engineering Effort:

Level A: Preliminary engineering performed. Technical information is available, engineering calculations have been performed; clear understanding of the materials size and quantities needed to execute job. Schedule understood; staff and permitting is fairly clear, (however this element may still need refining). Project Development & Construction Contingencies ranges between 10%-20%.

Level B: Conceptual engineering performed. Technical information is available, rough engineering calculations may have been performed, or similar information from previous similar work is compared and used. Project Development Contingencies ranges between 15% to 25% and Construction Contingencies ranges between 20% to 30%.

Level C: No engineering performed. Educated guesstimating. Limited technical information available and/or analysis performed. Project Development and Construction Contingencies should be selected appropriately by Project Manager. Contingency may range up to 50%.



Recent Progress



June 10th – Urban Forestry Board review and recommendation to Council.



June 11th – Public Works Advisory Board review and recommendation to Council.



Cascades East Transit, Central Oregon Breeze, and other transit providers, and the Community Labyrinth have reviewed and provided comments.

Next Steps

- Revise 90% design per direction from City Council.
- 100% design completion (July 2024).
- Bid specifications and schedule completion (Aug/Sep 2024).
- Bid Let (Oct/Nov 2024).
- Begin Construction (Jan 2024).
- Open the Mobility Hub (summer 2025).



CITY COUNCIL Staff Report

Meeting Date: July 10, 2024

Type: Workshop

Subject: Central Oregon Civic Action Project – Citizens’ Assemblies Presentation

Staff: J. Wheeler

Dept: Administration

Action Requested: Receive a presentation from Josh Burgess from the [Central Oregon Civic Action Project](#) regarding Citizens’ Assemblies and the Civic Assembly on Youth Homelessness in Deschutes County pilot project.

Attachments:

1. **ATTACHMENT 1:** Civic Assembly Invitation Letter to Deschutes County Residents
2. **ATTACHMENT 2:** Deschutes County Assembly on Youth Homelessness Factsheet



CITY OF BEND



Para leer esta carta en Español y contestar con su interés, visita cocap.us/espanol, o llama (541)-719-8441 con preguntas.

Dear Deschutes County resident,

If you reply to this invitation, you could be part of the Deschutes Civic Assembly on Youth Homelessness. This Assembly will be the first of its kind in Central Oregon – help our community take on a complex challenge, and be part of our history.

This letter was sent to 12,750 randomly selected households in Deschutes County. If you are 16 years or older, **you are almost certainly eligible – no experience is necessary.**

Central Oregon has among the highest rates of homelessness among youth and families in the country, and these numbers have risen dramatically since 2020. You could be part of turning these numbers around.

Civic Assemblies are a way for everyday people to help solve big challenges. Assemblies are able to break through tough, divisive issues to find new paths forward. Youth homelessness is not an issue that experts or government officials can solve alone. This is your seat at the table.

When:	Two weekends in September & October , 9AM to 4:30PM each day: <ul style="list-style-type: none"> • Sat.–Sun., Sept. 14-15 and • Fri.–Sun., Oct. 4-6
Stipend:	\$450 total (equivalent to \$15/hour)
How:	Either reply using the enclosed form – postmark deadline: July 23. Or reply online by July 28 at cocap.us/response

If you respond to this letter, you will be placed in an anonymous lottery drawing. That lottery will result in a Civic Assembly of 30 Deschutes residents. The Assembly is randomly selected to reflect the county's population – on age, gender, location, and other factors. The aim is to bring together people from all walks of life, a sort of "**county in one room.**"

The Assembly will address the following question: *What should our priorities be for building community solutions to prevent and end youth homelessness?*

The Assembly will work closely with the Central Oregon Youth Action Board (YAB), one of the key groups working on this topic. The YAB is responsible for deciding how to spend a nearly \$1M federal grant to address youth homelessness in Central Oregon, and for providing other advice to local governments on this subject. The Assembly will fit in with this work by proposing additional policy solutions to this complex local challenge.

Several other key agencies have pledged to take action on the Assembly's recommendations: the City of Bend, Deschutes County, and members of the Regional Housing Council. Other cities and organizations may also join this list. This Assembly is funded by a wide variety of local individuals, local foundations, and national foundations.

**Who can serve on the Assembly?
How will Assembly Members be selected?**

To be eligible to serve on the Assembly, you must:

- Currently live at the address on this mailing, or have received it through a social service agency
- Be 16 years of age or older on September 12, 2024
- Be available on each day and time the Assembly is scheduled to meet
- Not be a current elected official
- **Either mail your reply by July 23, or reply at cocap.us/response by July 28**

Assembly Members will be selected from among the replies to this mailing, at a public Lottery Event on August 1 at 6:00PM at the Downtown Bend Library and will be broadcast live online on cocap.us. Selected Assembly Members will be notified by August 8.

This project is strictly nonpartisan, and it is not associated with any political party, campaign, or individual. The Civic Assembly will be entirely independent. It will make the recommendations it chooses, with no outside interference, and it will present them directly to decision makers.

As part of the Assembly, you will learn about your county and the complex issue of youth homelessness. You will consider issues related to housing, education, and health, and you will hear directly from youth who have experienced homelessness firsthand. **You do not need to be an expert to participate.** Your individual perspective as a Deschutes resident is what matters.

You will have the unusual opportunity to work with fellow residents from all corners of Deschutes County to identify where government agencies, nonprofit service providers, and others should focus their efforts.

If selected, you will serve for **two weekends this fall** – you must be available on all days listed to participate. You will receive a stipend for your time, lunch and refreshments, reimbursements for transportation and child/elder care, and other personal assistance as needed.

For further information about the Assembly, please see the FAQ enclosed with this letter, or please contact Healthy Democracy at info@healthydemocracy.org or (541)-719-8441.

Thank you in advance for your service to the people of Central Oregon.

Sincerely,



Isabelle Patterson
Chair
Youth Action Board



Josh Burgess
Director
Central Oregon Civic Action Project

Panelist Response Forms

PLEASE COMPLETE A SEPARATE FORM FOR EACH MEMBER OF YOUR HOUSEHOLD AGED 16 & UP.

Forms must be **postmarked by July 23** – or **reply online by July 28** at: cocap.us/response

Address: <Full Address>		Code: <code>
Name:	My household . . . <input type="checkbox"/> Owns this address as our primary residence <input type="checkbox"/> Rents this address as our primary residence <input type="checkbox"/> Is currently unhoused Note: If the property at the address above is not a residence (e.g., it is a business) OR if this property is a vacation or second home OR if you otherwise do not live at this address as your primary residence, you are not eligible for this particular lottery – even if your primary residence is elsewhere in Deschutes County.	
Phone:		
Email:		
Primary Language:		
Age: <input type="checkbox"/> 16–24 <input type="checkbox"/> 25–34 <input type="checkbox"/> 35–44 <input type="checkbox"/> 45–54 <input type="checkbox"/> 55–64 <input type="checkbox"/> 65–74 <input type="checkbox"/> 75+		
Highest education level attained: <input type="checkbox"/> Some schooling but no diploma <input type="checkbox"/> High school diploma or equivalent <input type="checkbox"/> Some college or Associate's degree <input type="checkbox"/> Bachelor's degree or higher	Which best describes how you most identify? <input type="checkbox"/> Female <input type="checkbox"/> Male <input type="checkbox"/> Another gender identity	
Please initial each of the statements below: ~~~ I received this invitation mailer at my primary residence or through a social service agency, <i>not</i> at a business address, second home, or other address. ~~~ I am <i>not</i> a current elected official. ~~~ I am able to commit to participate in the Assembly on <i>all</i> of the following dates, from 9 AM to 4:30 PM each day: Sat.–Sun., Sept. 14–15 , and Fri.–Sun., Oct. 4–6 ~~~ I understand that missing more than 8 hours of the Assembly will disqualify me from continuing as an Assembly Member.	Which best describes how you most identify? <input type="checkbox"/> Asian or Pacific Islander <input type="checkbox"/> Black or African American <input type="checkbox"/> Hispanic or Latina/e/o/x (of any race) <input type="checkbox"/> Native American or Alaska Native <input type="checkbox"/> White* <input type="checkbox"/> Multiracial *Note: These categories are matched to Census data. Although Middle Eastern & North African will become a future US Census category, the current Census encouraged MENA respondents to mark "White."	
	Which party are you registered with? <input type="checkbox"/> Democratic Party <input type="checkbox"/> Republican Party <input type="checkbox"/> Another party, Unaffiliated, or Not registered	
	I certify the information on this form is true to the best of my knowledge. Signature: _____ Date: _____	

For more info on the democratic lottery, our privacy policy, and other details, see the enclosed FAQ.

If you included an email address above, you will receive confirmation of your submission as responses are processed. Look for an announcement of the public Lottery Selection Event, which will also be the official launch of the project, in your email – or simply tune in on August 1 at 6:00 PM at cocap.us.

Panelist Response Forms

PLEASE COMPLETE A SEPARATE FORM FOR EACH MEMBER OF YOUR HOUSEHOLD AGED 16 & UP.

Forms must be **postmarked by July 23** – or **reply online by July 28** at: cocap.us/response

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Phone:		
Email:		
Primary Language:		
Age: <input type="checkbox"/> 16–24 <input type="checkbox"/> 25–34 <input type="checkbox"/> 35–44 <input type="checkbox"/> 45–54 <input type="checkbox"/> 55–64 <input type="checkbox"/> 65–74 <input type="checkbox"/> 75+		
Highest education level attained: <input type="checkbox"/> Some schooling but no diploma <input type="checkbox"/> High school diploma or equivalent <input type="checkbox"/> Some college or Associate's degree <input type="checkbox"/> Bachelor's degree or higher	Which best describes how you most identify? <input type="checkbox"/> Female <input type="checkbox"/> Male <input type="checkbox"/> Another gender identity	
Please initial each of the statements below: ~~~ I received this invitation mailer at my primary residence or through a social service agency, <i>not</i> at a business address, second home, or other address. ~~~ I am <i>not</i> a current elected official. ~~~ I am able to commit to participate in the Assembly on <i>all</i> of the following dates, from 9 AM to 4:30 PM each day: Sat.–Sun., Sept. 13–14 , and Fri.–Sun., Oct. 3–5 ~~~ I understand that missing more than 8 hours of the Assembly will disqualify me from continuing as an Assembly Member.	Which best describes how you most identify? <input type="checkbox"/> Asian or Pacific Islander <input type="checkbox"/> Black or African American <input type="checkbox"/> Hispanic or Latina/e/o/x (of any race) <input type="checkbox"/> Native American or Alaska Native <input type="checkbox"/> White* <input type="checkbox"/> Multiracial *Note: These categories are matched to Census data. Although Middle Eastern & North African will become a future US Census category, the current Census encouraged MENA respondents to mark "White."	
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	I certify the information on this form is true to the best of my knowledge. Signature: _____ Date: _____	

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Frequently Asked Questions

Do I need to have knowledge about youth homelessness in order to participate?

No. You do not need any experience or expertise on the topic. You will be gathering information during the assembly, and you will be able to make up your own mind about what you think are the best ways forward. Then you'll work through a process with your fellow Assembly members to investigate options, weigh tradeoffs, and recommend which policies and programs should be prioritized – and by whom.

If selected, what will I receive as an Assembly Member?

- **A stipend equivalent to \$15/hour** (for a total of \$450).
- **Accessibility assistance.** Everyone will be able to participate, no matter their needs.
 - **Reimbursement of expenses** incurred to participate, including transportation costs and costs for childcare or eldercare.
 - **Language access** for Assembly Members whose primary language is not English, and **auditory/visual assistive technologies**, as needed.
- **A one-of-a-kind experience.** This will be a unique opportunity to work with your neighbors to help tough challenges. Members of previous Assemblies have often formed friendships and continued to work together in their communities, long after the Assembly has wrapped up.

How was my household chosen to receive this invitation?

By pure chance. We asked the County for every residential address in Deschutes County. We put them in a spreadsheet, mixed them all up, and pulled out 12,500 of them at random. It's possible that your neighbors received letters – dice can hit a roll like that – but it's also possible that you're the only one on your street.

What is the lottery, and how does it work?

A *democratic lottery*, also known as *sortition*, is a way to select people that has been around for millenia. It has made a comeback in recent years because it avoids some of the pitfalls of other methods, such as appointing hand-selected folks onto a committee. Lotteries avoid favoritism (or accusations of favoritism), and they ensure that everyone gets a chance to be part of governing ourselves.

Democratic lotteries generally follow these steps:

1. A mailing is sent to thousands of randomly selected addresses. That's this letter.
2. A population profile is created, looking at age, gender, and so on – using mostly Census data.
3. People reply to the mailing using a simple form that asks for only what's needed to run the lottery: demographic info. It's not an application or a test – no essay questions or special qualifications.
4. All those replies are placed into an open-source computer program that creates dozens of possible "Assemblies" – all of which match the population profile. These are all "counties in one room" – each include different individuals, but all of them match that same Census data for age, gender, etc.
5. There's a public Lottery Event, where one of those potential Assemblies is chosen as the official one. Then, we contact folks, tell them the news, and work with them to make sure they can serve.

As you can see, we need to collect demographic information so that the Assembly will be able to reflect the county's many kinds of people and range of political perspectives. Selection for the Assembly is random but also takes into account the demographic information that you share on this form. The Assembly is selected through a lottery drawing from among all respondents to this mailing.

How will my privacy be ensured?

Many of us do not want to be politicians or other public officials, yet we should all have ways to help solve our biggest challenges. If being known publicly is the only way, then we miss out on a lot of folks' skills and experience. Assemblies are meant to help fill that gap.

Therefore, we take your privacy very seriously. Your personal information will be known only to Healthy Democracy staff with one exception: if you are selected onto the Assembly, your first name (and only your first name) will be used during the process. All of your other personal details, contact information, and

demographic information will remain confidential to Healthy Democracy, unless you give specific permission to share it. Your information is not subject to public disclosure (like FOIA requests).

Although parts of the Assembly will be live streamed, Assembly Members may choose to avoid being on camera. The public may observe the Assembly's work quietly from a public gallery, but the Assembly does most of its work at private small group tables, and no interaction with the public or with decision makers is required. For more info, see HD's Privacy & Transparency Policy at: healthydemocracy.org/privacy.

What if I am selected and then I'm not able to participate?

All selected Assembly Members commit to participate in the full process. A group of alternates will also be selected in case anyone must drop out before the first session.

Can more than one person reply from my household?

Absolutely. In fact, we encourage all available members of your household, aged 16 and up, to reply. No two members from the same household will be chosen for the Assembly, but the more replies, the more representative the Assembly will be. Several response forms are enclosed, and you may make more copies. Just remember: everyone who replies **must currently live at the address on this letter, or have received this letter through a social service agency.**

Who is organizing this Assembly?

This program is a partnership between the Central Oregon Youth Action Board, the Central Oregon Civic Action Project, the Laboratory for the American Conversation at OSU–Cascades, and two organizations that focus specifically on lottery-selected Assemblies: an Oregon-based nonprofit called Healthy Democracy and an international nonprofit called DemocracyNext. With the exception of the Youth Action Board – which is focused on youth homelessness – all the other partners are in this for one reason only: to find and carry out innovative ways that all of us can more thoroughly participate in the decisions that affect our lives. And we have never and will never take any political positions beyond promoting those tools.

Healthy Democracy is leading the design and coordination of the Assembly. They have nearly two decades of experience designing similar Assemblies in Oregon and beyond. HD is best known for the Citizens' Initiative Review (CIR), where randomly selected residents evaluate ballot measures and provide trustworthy, nonpartisan voter information for the state voters' pamphlet. In other words: "voter info by voters, for voters." The CIR was born in Oregon and was one of the first permanent lottery-selected institutions created anywhere in the world when it was passed into Oregon law in 2011.

What will happen with the Assembly's recommendations?

The Assembly will deliver its recommendations to the Youth Action Board and to several local governments, including Deschutes County and the City of Bend. Representatives of these governments have committed to receiving the results, thoroughly considering them, and issuing a public response, and the project team is working to secure more committed recipients – governmental and nongovernmental – for the Assembly's policy proposals.

Who is funding the Assembly?

The Assembly is funded by contributions from dozens of local individual donors and foundations – including the Wade Family Foundation, Brooks Resources, and the City of Bend. It has also received funding from four national foundations interested in promoting innovative ways of making local policy decisions – The Rockefeller Foundation, Porticus, Omidyar Network, and Quadrivium.

For any **more information** or to donate to the project, please visit cocap.us.



Deschutes Assembly on Youth Homelessness

Modeling a pragmatic, concrete way to bridge divides in Deschutes County

Quick Facts

Citizens'/Civic Assemblies are a democratic innovation taking root around the world to solve tough policy problems amidst political division. The proposed Assembly in Deschutes County will be a unique democratic exercise that engages a representative sample of everyday residents to tackle the complex issue of youth homelessness.

- **30 Assembly Members**, selected by democratic lottery (sortition), to form a cross-section of the community (based on gender, age, race/ethnicity, and other factors)
- **5 days** of in-depth deliberation in September and October 2024.
- **Robust accessibility measures**, including substantial stipends and expense reimbursements, to make sure *all* Assembly Members can meaningfully participate.
- **In-depth learning phase**. Members hear from all sides of the issue – via written background materials, stories collected from the broader community, and diverse stakeholder and expert presenters.
- **Broad community connections**. Collaboration with a standing Youth Action Board, made up of young people with lived experience, and integration of a tech platform that will enable hundreds more community members to join the conversation.
- **New model for collaborative decision making**. With meticulous deliberative process design and specifically trained small group moderation, Members are empowered with the tools to unlock collaboration and identify common ground solutions.
- **Regional policy impact**. The Assembly will present its recommendations to the Deschutes County Commission and local city councils – all of whom will publicly discuss and consider implementation of the Assembly's recommendations.
- **National media strategy** that proves a *different kind of democracy* is possible amidst a polarized election.

Context

Deschutes County sits at a socio-political crossroads. In many ways it is a microcosm of our country's cultural divides, with its growing tech and recreation industries contrasting with its agricultural and logging roots. Bend is also one of the fastest growing cities in the United States, with a population that has more than doubled since 2000 – and is forecast to do so again in the next 30 years. Accompanying this is the fourth highest cost of living growth rate in the country, and a level of income inequality in the top 12% among all cities nationally in 2022. Central Oregon ranks in the top five rural places nationwide for its rate of families and unaccompanied youth experiencing homelessness. Paired with a major grant from HUD on the same topic, the Assembly will be well-positioned to implement creative solutions to a wicked local challenge.

Partners

This project is a partnership between the Central Oregon Civic Action Project, Democracy Next, Healthy Democracy, and OSU–Cascades. Multiple officials from COIC, Deschutes County, and the City of Bend have also pledged their support for the project.

SUPPLEMENTAL REPORTS & COMMUNICATIONS
CITY COUNCIL REGULAR MEETING
JULY 10, 2024

Supplemental Reports & Communications indicate items received after the Agenda Packet was published or at the meeting.

4. VISITOR COMMUNICATION

1. David Bachtel: Opposition to location of RV Park
2. Charlie Stevens – Better Living in Sisters (BLIS): Opposition to the current TA24-01 text amendment proposal
3. Ronni Dugg - Three Sisters Historical Society: Opposition to TA24-01 due to historic Conklin House
4. Rodney Cooper: Proclamation for Patriot Day

Testimony of David Bachtel at City of Sisters City Council Hearing re: TA24-01 7/10/2024

Good evening.

My name is Dave Bachtel. I have been opposed to the location of an RV park in the Tourist-Commercial District. However, I would be more supportive if it were allowed as a conditional use with well-considered approval criteria developed with community input instead of basically no substantial criteria, not even those adopted by the County. This was suggested by citizens prior to the hearing and was also suggested as an option by the planning staff at the public hearing. However, since it was not considered seriously earlier, no alternative criteria were offered to the planning commission by staff and the proposal would have needed to be sent back to staff to develop them. The commission chair stated that, in his opinion, a commercial zone is a commercial zone and a property owner ought to be able to develop anything in any commercial zone in the City even if the use is allowed in just one. Otherwise, it would be unfair to the property owner where additional restrictions would apply. He then pressed for a vote as four of the six members were suggesting support for the conditional use concept. What was left out of the chairman's discussion was the fact that the RV park use is not currently allowed in the tourist commercial zone, so the addition of that use would be the granting of a property right that does not currently exist. Additionally, there are dozens of homeowners nearby who purchased property recently in that area where an RV park is not allowed. Is this fair to them? Does this encourage public participation? I think not.

Reference: City of Sisters Planning Commission hearing 5/16/2024 video, 2:17:00 – 2:21:00

Submitted by:

David Bachtel

1310 W Hill Ave

Sisters, OR 92250

dbachtel@drbh20.com

Matt Martin

From: Charles Stephens <cmstephens14@icloud.com>
Sent: Monday, July 8, 2024 8:08 AM
To: Matt Martin
Subject: BLIS TA24-01 input
Attachments: TA24-01_BLIS Comments_070824.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Good morning, Matt. Attache are the comments of Better Living in Sisters for the City Council hearing on Wednesday. Charlie

Charlie Stephens
1086 W COLLIER GLACIER DR
SISTERS OR 97759
cmstephens14@icloud.com

Memo for the Record

Date: July 8th, 2024

To: Matt Martin, Principal Planner, City of Sisters

From: Better Living in Sisters (BLIS)

Re: TA24-01; Proposed Text Amendments to the Sun Ranch Tourist Commercial Zone regulations in the Sisters Development Code (SDC); Additional Community Input

These comments supplement those submitted for the Planning Commission hearings of May 16th and June 20th. The May comments included a point-by-point counter to the staff report's assessments concerning the proposal's failure to meet the goals and objectives of the Sisters Country Vision and the City's Comprehensive Plan. While the proposals in TA24-01 have changed since then, these issues are still relevant and we hope the Councilors will review those comments before making a decision at the hearing.

We wish to reiterate our strong opposition to the *current* TA24-01 proposals for the following reasons.

1) There is no reason to change the current Code regulations for this Tourist Commercial district, as the current Code allows for a wide variety of development options that would provide benefits for travelers, tourists, and local residents, as the current "Purpose" section of the current SDC 2.15.2700 states. The addition of RV parks to the list of permitted uses, without conditions, would allow a campground development that provides limited benefits for travelers and no benefits for the local community, on a site that is literally across the street from the Downtown Commercial district.

We urge the City Council to reject this set of proposals.

2) Even if the City were to allow RV parks as an allowed use, such use should be conditioned on regulations that better define what should be developed in the district. In other words, RV parks should be a Conditional Use, as they are in the Highway Commercial (HC) districts. There is no valid reason to condition this use in the HC district and not condition it in the TC district.

3) At the June 20th Planning Commission hearing on this application, four of the six sitting Commissioners raised concerns about approving RV parks as a permitted use without any effective regulations regarding required characteristics of such a development. In other words, there are no criteria by which the City and its citizens may judge the appropriateness of an RV park proposal for the district. However, when the Commission vote was taken, only two

of the Commissioners who expressed such concerns voted against approval on those grounds. One has submitted a written dissenting opinion to the record, which we strongly support. [referred to in the docket record as “Attachment 2 to City Staff Report 6-26-2024”] Along with the two dissenting Commissioners, we find the current proposals unacceptable.

If the Council chooses to approve RV parks as a land use in this district, we strongly recommend that the proposal be sent back to the Planning staff for revision, and the Planning Commission for further discussion, to at least add regulations (criteria) by which the Commission, the City Council and the citizens of Sisters can judge any development proposal that arises from the addition of RV parks as a permitted use for the TC district. This permitted use should be conditional, conditioned on adherence to the regulations that should be in place *before a development proposal is accepted by the City.*

4) To contrast the current TA24-01 proposal with a much more acceptable set of regulations for RV parks, we offer the following, which is the list of RV park regulations in effect for the City of Sutherlin, Oregon. While we do not assert that the City of Sisters should simply adopt all of these regulations, we do assert that all of the issues addressed in these regulations should have been addressed by the City’s Planning staff and discussed by the Planning Commission before approving, conditionally or otherwise, RV parks as a permitted use in this district.

We also assert that the applicant’s proposed “conditions” – four of them – are not really conditions at all:

- Their proposed RV park development lot coverage limitation of “65 percent of the gross square footage” of Lot 1 in the district is **actually closer to 75 percent of the *developable* area of the lot**, once setbacks and the airport runway approach exclusion zone are taken into account, and there are no explanations of what parts of an RV park development are included in the coverage limitation.
- The requirement to provide “a minimum of two amenities” with a combined area of “*no more than 10,000 sq ft*” (less than a quarter of an acre) is **something a developer is highly likely to do anyway, while providing these amenities only for the renters in the RV park.**
- The camp site rental limitation of “no more than 30 days in a 90-day period” (making this a short-term rental, by definition) is utterly impractical. **How will the City enforce this requirement? Who in the City will enforce it, and where are the measures the City can take in order to enforce it?**
- The applicant proposes to reference Section 3.3 of the SDC for off-street parking regulations. **There are no off-street parking regulations in this section for campgrounds or RV parks.**

These City of Sutherlin regulations are a good example of what should have been considered as part of this process, *before* approving RV parks as a permitted use in this district:

12.40.080 State standards.

RV parks shall conform to Oregon Administrative Rules, Chapter 918 Division 650 and as amended at a minimum. These OAR development standards shall apply except where other standards in this section are more restrictive. (Ord. 869 § 2.131, 1997)

12.40.090 Local standards.

1. An RV park shall embrace an area of not less than two acres.
2. The maximum density for RV parks shall be twenty-two (22) sites per acre, or twenty-five (25) sites per acre if density bonus is allowed by the approving authority.
3. Roadways shall be designed to accommodate all types of recreational vehicles, designed for a minimum often ten ton gross loads.
4. The minimum shall be twelve (12) feet per traffic lane and ten feet per parallel parking lane when provided by the operator. Two-way streets without parking shall be a minimum of twenty-four (24) feet in width.
5. Roadways shall be easily traversable and shall have a well drained surface.
6. Driveway curves shall have a minimum internal radius of forty (40) feet.
7. "T" or cul-de-sac turn-arounds are discouraged. However, when allowed they shall have prior approval of the fire marshal or fire chief.
8. Roadways and walkways shall have a surface material of gravel, crushed rock, asphaltic concrete, or concrete and shall be well drained.
9. The campground or RV park street system shall have a direct connection to public street.
10. A space provided for an RV shall be paved with gravel, crushed rock, asphaltic concrete, or concrete and be designed to provide runoff of surface water.
11. Generous landscaping of that part of the spaces not designed for occupancy, not intended as an access way to the recreational vehicle or part of an outdoor patio, will be encouraged.
12. Each RV space shall be provided with municipal piped water and municipal sanitary sewage disposal system service. All independent RV's staying in the park shall be connected to the water and sewage service. Ten percent of the total spaces may be without water and/or sewer if proposed and approved as such at time of application approval by the approving body.

13. Each RV space shall be provided with electrical service. Ten percent of the total spaces may be without electrical service if proposed and approved as such at time of application approval by the approving body.

14. Trash receptacles for the disposal of solid waste materials shall be provided in convenient locations for the use of guests of the park, screened from open view and located within two hundred (200) feet of each RV parking space. Solid waste containers shall have tight-fitting lids, covers or closable tops, and shall be durable, rust-resistant, water-tight, rodent-proof and washable. There shall be a minimum of four cubic feet of solid waste receptacle per space. Solid waste shall be handled and disposed of in accordance with city Ordinance No. 854, and its successors.

15. The total number of parking spaces in the park, exclusive of parking provided for the exclusive use of the manager or employees of the park, shall be equal to one space per RV space. Parking spaces shall be paved with crushed rock, gravel, asphaltic concrete, or concrete.

16. The park shall provide toilets, lavatories and showers for each sex in the following ratios: for each thirty (30) recreational vehicle spaces or any fraction thereof: one toilet, one urinal, one lavatory and one shower for men; and two toilets, one lavatory and one shower for women. Parks having more than thirty (30) spaces shall comply with requirements of OAR [918-650-050](#). The toilets and showers shall afford privacy and the showers shall be provided with private dressing rooms. Facilities for each sex shall be located in separate buildings, or, if in the same building shall be separated by a soundproof wall or utility room. Fixtures shall conform to the requirements in OAR [918-650-050](#).

17. Markings, signs and security measures for toilets and showers shall be in accordance with OAR [918-650-050](#), as a minimum.

18. The park shall provide one utility building or room containing a minimum of one clothes washing machine, one clothes drying machine for each thirty (30) spaces or any fraction thereof and shall include space for clothes sorting and folding.

19. Building spaces required by this chapter shall be lighted at all times of night and day, shall be ventilated, shall be provided with heating facilities which shall maintain a room temperature no lower than sixty-five (65) degrees Fahrenheit, shall have floor of waterproof material, shall have sanitary ceiling, floor and wall surfaces and shall be provided with adequate floor drains to permit easy cleaning.

20. All openings on building required by this chapter, except doors with self-closing devices, into the outer air shall be effectively screened. Screens shall not be less than sixteen (16) mesh per inch, and all screen doors shall be equipped with a self-closing device.

21. The park shall be buffered from surrounding use and development by a fifteen (15) foot minimum setback from the side property line when adjoining a residential district; and twenty-five (25) foot setback from the rear property line when adjoining a residential district. The parks shall be buffered from a public street or highway by a twenty (20) foot minimum setback from the property line. A five-foot setback from side and rear property lines shall be required in all other instances.

22. Landscaping for required yards or “green ways” to constitute a buffer area to protect adjoining areas from undue intrusions of noise, light, odors and other deleterious influences shall consist of at least: (1) one row of deciduous or evergreen trees or a mixture of each; and/or (2) one row of evergreen shrubs spaced not more than five feet apart which shall grow to form a continuous hedge at least five feet in height within one year of planting; and (3) lawn, low growing evergreen shrubs, evergreen groundcover, bark mulch covering the balance of the required landscaped yard. Landscaping shall be continuously maintained in a neat and tidy manner.

23. The park and all buildings therein shall be maintained in a neat appearance at all times. There shall be no outdoor storage of materials or supplies except articles commonly used in travel, such as lawn chairs, table, hibachi and travel chest. Indoor storage shall be confined to one building at the rear or side of the lot, built according to the State of Oregon Structural Specialty Code.

24. The park shall provide each RV space with a patio slab of concrete or asphalt, measuring eight feet by twelve (12) feet at a minimum.

25. No manufactured housing or site built housing shall be permitted on the site, except one unit for manager of the RV park. Recreational vehicles or park model RVs shall not be allowed for this purpose.

26. Developer shall file with the city a copy of the park rules and regulations and each park owner/manager thereafter shall provide up-to-date copies of same whenever any changes are made.

27. Each camping unit site shall be designed and constructed at an elevation, distance and angle with respect to its access to provide for safe and efficient placement and removal of units and automobiles.

28. Each occupied recreational vehicle unit site must have a vehicular access, but a site designed for the exclusive use of a tent, teepee, yurt, camping cabin or housekeeping cabin may be permitted to be accessible only by a walkway.

29. Each camping unit site shall be marked for identification both for the ease of guests, emergency response vehicles, and for safety and security reasons. Markers must be easily readable from the driveways in day or night conditions without the need for secondary lighting.

30. Development shall meet requirements of the Oregon Fire Code at a minimum. (Administratively corrected 5/4/05; Ord. 869 § 2.132, 1997)

The members of Better Living in Sisters (BLIS) strongly oppose TA24-01 in its current form, and in particular the inclusion of RV parks as a permitted use for this district. Such a development is inappropriate for this physical location in the City, and would provide little or nothing in the way of benefits for the City or its citizens, while providing benefits for only a very limited subgroup of our tourist patrons.

Submitted on behalf of Better Living in Sisters (BLIS), by

Charlie Stephens
1086 W Collier Glacier Drive

July 9, 2024

To the Sisters City Council

The Three Sisters Historical Society and Museum opposes the approval of the Sun Ranch Tourist Commercial District text amendments. Our opposition is solely because the changes being proposed jeopardize the protection of the historic Conklin House from destruction. The house has much historic significance as outlined below.

1. The Conklin house was built circa 1940 on property purchased from The Richardson's by Ethel Hitchcock in Nov. 1939. The southern "garden" portion of the property was part of the original J.J. Smith 1880's homestead.
2. The origin of the house goes back even further to a schoolhouse (possibly the 3rd Sisters school) which was moved around 1912 from the property on which our Sisters City Hall now stands to property in the area of the subject house. In its new location, the schoolhouse was used to hold exhibits for the first Sisters Fair in October 1914. When the original house was built some of the structure of that schoolhouse was used and remains today.
3. The owner occupants of the house over its 77+ years include major logging company owners, Maurice Hitchcock and Harold Barclay and business owners, Frank and Marie Conklin, who ran the Conklin Guest House there.
4. This house, as many other structures in our town, date back to the early days of Sisters and exist because their owners recognize their value and significance to the history of this town.

We appeal to the City of Sisters and the City Council to save this house from destruction like the other historic structures that have sadly been lost in recent years. These buildings cannot be replaced once they are demolished. With Sisters being the oldest town in Deschutes County, we should respect and preserve the historic structures that remain today and recognize how they enrich our Sisters community and economy. The Sisters Vision states the importance to our economy of year-round tourism and visitor attractions. Sisters' history and its landmarks and Museum are here year round and attract and entertain our visitors. Let's recognize them as the real assets they are, instead of ignoring their importance. In the Sisters Museum, we interact with visitors who come to our town because they are interested in our history and respect our dedication to honoring that history.

Ronni Duff
Board of Directors
Three Sisters Historical Society

CITY OF SISTERS OREGON PROCLAMATION

A proclamation designating the month of JULY as

PATRIOT MONTH

WHEREAS, the City of Sisters believes in the sanctity of the United States of America, and all those who are legal citizens therein, should be encouraged to celebrate their patriotism and love for their country.

WHEREAS, a patriot is hereto defined as a person who loves, supports, and defends their country and it's interests with true devotion, values individual rights of all people, and defends those rights when necessary.

WHEREAS, PATRIOT MONTH is a time to show thankfulness and appreciation for the brave men and women of the armed forces who defend the rights and freedoms of our country, and honor our veterans and first responders in our communities.

WHEREAS, PATRIOT MONTH is a time to reflect on the founding principles of the United States of America, the Declaration of Independence and the US Constitution.

WHEREAS, citizens are encouraged to proudly display their American Flag, wear patriotic gear, attend events that support the spirit of patriotism, and renew their commitment to participate in elections.

NOW, THEREFORE BE IT RESOLVED THAT the Sisters City Council does hereby proclaim July 2024 as PATRIOT MONTH in the City of Sisters, Oregon and urges all residents to join in celebrating and promoting patriotism.

APPROVED by the Sisters City Council and SIGNED by Mayor Michael Preedin

this _____ day of _____ of the year of our Lord two thousand twenty four.

Signed Mayor Michael Preedin

ATTEST: Deputy Recorder Rebecca Green



CITY COUNCIL Staff Report

Meeting Date: July 10, 2024
Type: City Council Meeting
Subject: City Council Meeting Minutes

Staff: R. Green
Dept: Administration

Consent Agenda: Approve the minutes from the June 26, 2024, City Council Workshop and the June 26, 2024 Regular City Council meeting.

Summary Points:

- Approve the minutes from the June 26, 2024 City Council Workshop and the June 26, 2024 Regular City Council meeting.

Financial Impact: None.

Attachments:

- 1- ATTACHMENT 1: June 26, 2024, City Council Workshop
- 2- ATTACHMENT 2: June 26, 2024, Regular City Council meeting

WORKSHOP MEETING MINUTES
 SISTERS CITY COUNCIL
 520 E. CASCADE AVENUE
 June 26, 2024

MEMBERS PRESENT:

Michael Preedin Mayor
 Gary Ross Councilor
 Susan Cobb Councilor

STAFF PRESENT:

Jordan Wheeler City Manager
 Paul Bertagna PW Director
 Joe O'Neill Finance Director
 Scott Woodford CDD Director
 Matt Martin Principal Planner
 Rebecca Green Deputy Recorder

The meeting recording is available here:

<https://www.ci.sisters.or.us/bc-citycouncil/page/city-council-workshop-meeting-9>

Mayor Preedin called the workshop to order at 5:00 p.m.

1. Deschutes County Sheriff Office Update

Lt Davis stated that patrol has been very busy lately. They are coordinating with Sisters Outdoor Quilt Show staff to create a safe walking event on Saturday, July 13. Davis spoke to the recent car accident hitting a pedestrian, resulting in serious injuries. The pedestrians were carrying a crossing flag, yet the driver did not see them. Davis indicated surprise there haven't been more pedestrian accidents, given the number of pedestrians crossing Sisters city streets.

2. Urban Growth Boundary Update

Director Woodford introduced Andrew Parish of MIG Consultants who led the presentation. Parish outlined previous steps in the process, including the Housing Needs Analysis (2019), the Comprehensive Plan Update (2021), the Sisters Housing Plan (2022), the Land Use Efficiency Measures (2022), and the Land Sufficiency Analysis (2023), which led to the need to explore an Urban Growth Boundary Amendment currently undertaken.

Current and upcoming activities include: finalizing land needs and establishing and analyzing the study area based on State of Oregon's "[Goal 14: Urbanization](#)" guidelines, to be worked on by the UGB Steering Committee starting June 27 (June – August 2024); creating and evaluating various land options (September 2024- - January 2025); selection of a preferred alternative (February – March 2025); reporting of findings and adoption by the Planning Commission, the City Council, and Deschutes County (April – September 2025). Should there be time and budget, additional area planning tasks will occur, including what new neighborhoods might look like, as well as transportation, parks, and other needs and amenities (6+ months).

The public can expect to be invited to participate, especially during the step of creating and evaluating land options that will lead to the selection of a preferred alternative, which

WORKSHOP MEETING MINUTES
SISTERS CITY COUNCIL
520 E. CASCADE AVENUE
June 26, 2024

is the period from September 2024 to January 2025. Engagement activities will include broad community conversations, surveys, tabling information, and other activities that will inform the City and Steering Committee about needs and desires as well as direct and indirect impacts, and help community members understand the process. Engagement will especially seek to target participation by historically underrepresented participants.

Council discussed public engagement, the annexation process, and the long-term nature of this effort. The public is invited to use the City Council Visitor Communication and UGB Steering Committee Visitor Communication process to speak to issues throughout this effort.

The public can follow the process, including Steering Committee activities through the Story Map: <https://storymaps.arcgis.com/stories/f5bef05f5db74ef898f6381fd82cde94>.

3. Affordable/Workforce Housing Grant Update

Manager Wheeler outlined the City's Affordable Housing and Workforce Housing Grant Program that were conceptually awarded to Sisters Habitat at the April 24, 2024 meeting, during which they requested that the applicant complete a pre-application land use meeting with City staff and solicit input through a neighborhood meeting. An Agreement to Award letter will come before Council on July 10.

Sisters Habitat Director Peter Hoover introduced Kevin Eckert of Build LLC who gave the update on the revision of plans. After the April 24, 2024 Council meeting, Sisters Habitat and Build LLC had a pre-application land use meeting with the City; those revised plans were brought to a neighborhood meeting on June 7 attended by 10 people. Sisters Habitat and Build LLC also met individually with area neighbors. The revised plans include updates to parking, density, size of home, and proximity to other properties. Primary changes include the reduction of the number of bedrooms from 38 to 31, and a significant drop in the height of the buildings. There will be a follow up meeting with neighbors and the land use application will be submitted later this summer, at which time the public can provide input on the project. The agreement to award funds for these projects will come to Council and to the Urban Renewal Agency at the July 10, 2024 meetings.

4. Tourist Commercial Text Amendments

Principal Planner Martin provided information on the proposed text amendment to Sisters Development Code Chapter 2.12 – Sun Ranch Tourist Commercial District by applicants Jon Skidmore of Skidmore Consulting and Ernie Larabee of Lake House, LLC. Director Woodford explained that the quasi-judicial approach the City is taking means today's presentation is informational only, with deliberation by Council to take place at the public hearing on July 10, where the public has an opportunity to also speak to the merits of the application.

WORKSHOP MEETING MINUTES
SISTERS CITY COUNCIL
520 E. CASCADE AVENUE
June 26, 2024

Martin outlined the current code and the proposed amendments. Council discussed the definitions of lodging facilities and other clarifications. Martin indicated that the Planning Commission recommended approval of the Ordinance via 4-2 vote on May 16, 2024. The public hearing before City Council is scheduled for July 10, 2024.

5. Other Business – None.

The meeting was adjourned at 6:23 p.m.

Rebecca Green, Deputy Recorder

Michael Preedin, Mayor

REGULAR MEETING MINUTES
SISTERS CITY COUNCIL
520 E. CASCADE AVENUE
JUNE 26, 2024

MEMBERS PRESENT:

Michael Preedin Mayor
Gary Ross Councilor
Susan Cobb Councilor

STAFF PRESENT:

Jordan Wheeler City Manager
Joe O’Neill Finance Director
Scott Woodford CDD Director
Paul Bertagna PW Director
Rebecca Green Deputy Recorder

The meeting recording is available here:

<https://www.ci.sisters.or.us/bc-citycouncil/page/city-council-workshop-meeting-9>

1. CALL TO ORDER/PLEDGE OF ALLEGIANCE

The meeting was called to order by Mayor Preedin at 6:30 pm.

2. ROLL CALL

A roll call was taken, and a quorum was established.

3. APPROVAL OF AGENDA

Councilor Cobb made a motion to approve the agenda. Councilor Ross seconded the motion. Preedin, Ross, and Cobb voted aye; the motion carried 3-0.

4. VISITOR COMMUNICATION

TK McKenna spoke to his frustrations about communications with the City of Sisters and with City Council.

5. CONSENT AGENDA

A. Minutes

1. June 26, 2024 – Workshop
2. June 26, 2024 – Regular Meeting

- B. Approve Amendment No. 4 of Intergovernmental Agreement No. 73000-0012958 with the Oregon Department of Transportation for Improvements at US20 at Locust Roundabout Project.

Councilor Cobb made a motion to approve the Consent Agenda. Councilor Ross seconded the motion. Preedin, Ross, and Cobb voted aye; the motion carried 3-0.

6. COUNCIL BUSINESS

- A. Public Hearing and Consideration of Resolution 2024-17: A RESOLUTION OF THE CITY OF SISTERS ADOPTING A SUPPLEMENTAL BUDGET AND ESTABLISHING APPROPRIATIONS WITHIN THE FY 2023/24 BUDGET.**

REGULAR MEETING MINUTES
SISTERS CITY COUNCIL
520 E. CASCADE AVENUE
JUNE 26, 2024

Mayor Preedin opened the public hearing.

Director O'Neill reviewed the Supplemental Budget which outlines adjustments to the General Fund, the Transportation SDC Fund, and refunds to an applicant for a development that did not materialize, to be paid down from revenue from the Transportation, Wastewater (Sewer), and Water SDC Funds.

Mayor Preedin asked for public comment; there was none. Mayor Preedin closed the public hearing.

There was no council discussion.

Councilor Cobb moved to approve and adopt Resolution 2024-17. Councilor Ross seconded the motion. Preedin, Ross, and Cobb voted aye; the motion carried 3-0.

B. Public Hearing and Consideration of Resolution 2024-18: A RESOLUTION OF THE CITY OF SISTERS AMENDING THE MASTER FEE SCHEDULE SISTERS OVERNIGHT PARK (CREEKSIDE CAMPGROUND) FEES, WATER AND WASTEWATER (SEWER) UTILITY RATES, REFUSE RATES AND SYSTEM DEVELOPMENT CHARGES.

Mayor Preedin opened the public hearing.

Director O'Neill reviewed the updates to the Master Fee Schedule, outlining rate adjustments to the Sisters Overnight Park (Creekside Campground) Fees, Water and Wastewater (Sewer) Utility Rates, Refuse Rates, and both Parks and Water/Wastewater System Development Charge rate increases.

Mayor Preedin asked for public comment; there was none. Mayor Preedin closed the public hearing.

There was no council discussion.

Councilor Ross moved to approve and adopt Resolution 2024-18. Councilor Cobb seconded the motion. Preedin, Ross, and Cobb voted aye; the motion carried 3-0.

7. OTHER BUSINESS

A. Staff Comments

Director O'Neill stated that the City's annual insurance update by Brown & Brown resulted in a favorable property liability rate of 5%, rather than the expected 23%, due in large part to a difference in property rate values from last year and a low number of claims. Workers

REGULAR MEETING MINUTES
SISTERS CITY COUNCIL
520 E. CASCADE AVENUE
JUNE 26, 2024

Compensation rates are comparable to expected. The Finance Department, with consultants, are reviewing the term sheet for Urban Renewal Agency financing. The funds may be available soon after the start of the new fiscal year on July 1; however, the City may not accept those funds until needed, as fees incur for lack of use of the line of credit.

Manager Wheeler:

- On July 10, there will be a meeting with community partners on houselessness; partners include County Behavioral Health, Sisters Ranger District, Community Leadership Initiative (CLI), Sisters Cold Weather Shelter, Family Access Network (FAN), and several local churches.
- On June 28, the Land Conservation and Development Commission will listen to the community and local leaders about water, growth, affordable housing, and Urban Growth Boundary (UGB) expansion.
- Upcoming events include Sisters Makers Grand Opening on June 28, as well as the Art Walk and the first night of the Big Ponderoo at Village Green Park. Sisters Community Garden will have a public meeting on June 29 at the Sisters Library to discuss site options.
- The City received a number of comments on loud music during Rodeo weekend. We have a noise ordinance and permit system that we may look into for needed updates.
- In terms of email protocol, typically Council forwards correspondence to staff for response, which allows for more streamlined communications and reduces the potential for serial meetings via email. City staff will work with Council to provide clarity on email protocol.

Director Woodford:

- The Short-Term Rental Ordinance was recently passed by the Planning Commission, and it will now come to Council August 14. Council discussed the potential differences between renting a room versus renting an entire home.
- The land-use application submitted by Dixies to expand behind their property was approved. The City is still reviewing their land-use application for the Baker Building, which would be new construction adjacent to their current property.
- There is a 13,000 square foot new industrial building proposed in the Three Peaks Subdivision. There will be a showroom, office, and tenant space for lease.
- The Dark Skies Committee includes Rima Givot, Scott Humpert, Ron Thorkildson, and Sue Stafford. The current goal is to draft an application to submit to International Dark Skies Association.

Director Bertagna:

- The Oregon Department of Transportation (ODOT) has scheduled the Locust Roundabout to be open by July 13, the weekend of the Sisters Outdoor Quilt Show. Staff are cautiously optimistic.

REGULAR MEETING MINUTES
SISTERS CITY COUNCIL
520 E. CASCADE AVENUE
JUNE 26, 2024

- The Highway 242 paving project is in progress, with the gate to McKenzie Pass potentially opening July 4. Once the pass opens, the paving project will extend into Sisters and should be paved within a few weeks.
- ODOT completed a speed-zone investigation on Highway 242, requested due to the opening of the new Sisters Elementary School. As a result, speeds have been reduced by 5 mph to 35 mph and extended west to National Forest Road 15; however, the official “School Zone” reduced school speed limit has been eliminated, as there are no school crosswalks present on Highway 242. The City and School District are not in agreement with ODOT, who are not reconsidering their decision. McKinney Butte Road remains a School Zone. Council should send concerns to Director Bertagna who will share with ODOT.
- McKinney Butte Safety Improvements Request for Proposals is open and due on July 9. If possible, the contract will be brought to Council at the July 10 meeting.
- Upcoming events include the 4th of July festival at Village Green. The Sisters Outdoor Quilt Show starts July 13; they are working with Deschutes County Sheriff’s Office to coordinate safe street crossings and assisting vehicles out of the area. The Farmer’s Market has been very successful and Public Works staff works hard to attend to the garbage, restrooms, and general care for regular park use.

8. MAYOR/COUNCILOR BUSINESS

Councilor Ross sat in for Councilor Letz at the Small Business Development Center (SBDC) meeting held at Sisters Makers. The SBDC works to support new businesses in Sisters.

Councilor Cobb requested the City look at adding Workshops on another day than the Regular City Council meeting, as it seems there is often not enough time to fully discuss the items on the agenda. Council discussed various options and City staff will consider alternatives. Cobb presented a handmade quilt for the Silent Auction at the mayor’s conference in July. Conference organizers are raising money to allow mayors from smaller cities to attend the conference.

Mayor Preedin attended the Central Oregon Cities Organization (COCO) meeting, which is focusing on water issues. COCO approved \$45,000 to secure consultant services on water issues from GSI Environmental. Each city contributes a percentage of that total. The Urban Growth Boundary Steering Committee has their first meeting on June 27.

9. ADJOURN: 7:38 p.m.

Rebecca Green, Deputy Recorder

Michael Preedin, Mayor



Meeting Date: July 10, 2024

Type: City Council Meeting

Subject: Affordable Housing Grant – Agree to Award Letter

Staff: J. Wheeler, City Manager

Depts: Administration

Action Requested:

Issue an Agree to Award letter that stipulates the City will award affordable housing grant funds in the amount of \$182,000 to Sisters Habitat for Humanity after the applicant receives an unappealable land-use approval for the project and the City and applicant enter into a grant agreement.

Background:

- In 2019, the City established an Affordable Housing Grant program via Ordinance 495, which sought to address affordable housing in Sisters through disbursement of grant (and/or loan) funds to qualified agencies and private developers in exchange for delivering affordable housing for the community.
- Each year, the city solicits requests for applications to use Affordable Housing Program funds. This year applications were due on March 1, 2024, after approximately six weeks of public notice. Sisters Habitat for Humanity submitted the only application, with a proposal to develop an affordable and workforce housing project along Adams Street.
- The program is funded primarily through a percentage of the Transient Room Tax that the city charges on all overnight lodging transactions in Sisters.
- City Council and the URA Board held workshops on [April 24](#) and [June 26, 2024](#) to discuss both the Affordable/Workforce Housing Grant Fund requests and the project proposal. The applicant has also completed two pre-application land-use meetings and held a neighborhood meeting.
- The Agree to Award letter is a commitment that stipulates that once the applicant has an unappealable land-use approval for the project and is fully funded, the City and the applicant will negotiate and enter into a grant agreement.
- The grant agreement will require City Council approval and will outline the conditions for the award of funds and permitted expenses.

Financial Impact: \$182,000

Attachments:

1. ATTACHMENT 1: Affordable Housing Grant Award Letter



PO Box 39 - Sisters, Or 97759 | ph: 541-549-6022 | www.ci.sisters.or.us

July _____, 2024

Sisters Habitat for Humanity
Attn: Peter Hoover
PO Box 238
Sisters, OR 97759

RE: City of Sisters – Affordable Housing Grant Program Award

Dear Mr. Hoover:

I am pleased to announce that the City of Sisters (“City”) has selected the proposal submitted by Sisters Habitat for Humanity (“Habitat”) in response to City’s Affordable Housing Grant Programs (the “Grant Program”). City has conditionally reserved up to \$182,000 of grant funds (the “Grant”), composed of City affordable housing grant funds, to assist Habitat with the costs and expenses incurred to develop and construct a new affordable housing development within the City of Sisters (the “Project”). The award of the Grant is subject to the following terms and conditions:

- The Project must include income restricted for-sale housing units on the following real properties located within the City:
 - Tax Lot 1000, No street address assigned
 - Tax Lot 1100, 484 E. Adams Avenue
 - Tax Lot 1500, 354 E. Adams Avenue
 - Southern portion of Tax Lot 1600, 304 E. Adams Avenue
 - Tax Lot 1700, 294 E. Adams Avenue
- Habitat will work to secure additional funds from Oregon Housing and Community Services and any other additional funding sources to finance the development.
- Upon the Project being fully funded and having obtained unappealable land use approval, the parties will negotiate in good faith to arrive at a grant agreement and affordable housing deed restrictions mutually acceptable to both parties. Execution of such a grant agreement is a precondition to the release of any funds from the City.
- Habitat will ensure units in the Project will be affordable to households having gross annual incomes sufficiently at or below 80% of the area median household income, as determined and adjusted by the U.S. Department of Housing and Urban Development for a for a period of fifty (50) years from the date the Project receives final certificate(s) of occupancy.

**CITY OF SISTERS**PO Box 39 - Sisters, Or 97759 | ph: 541-549-6022 | www.ci.sisters.or.us

- All required permits from all jurisdictions having authority over the Project must be obtained, prior to commencing work on the Project. Upon completion of the work, the Project shall be inspected and certified by the City of Sisters and Deschutes County Building officials to confirm its compliance with all applicable approved permits on file.
- Funds from the Grant may only be expended on costs and activities permitted under City's Affordable Housing Grant Programs and as further defined in the grant agreement.

City will reserve the Grant for Habitat until June 30, 2025. If the parties have not entered into the grant agreement by such date, City may revisit the terms and conditions set out in this letter, re-issue the request for applicants, or take any other action City determines to be in the best interest of the public.

I look forward to working with Habitat on the Project.

Sincerely,

City Manager



Meeting Date: July 10, 2024
Type: Regular/Public Hearing

Staff: Matthew Martin
Dept: CDD

Subject: Public Hearing for Ordinance No. 538 (City File No: TA 24-01), amendments to Sisters Development Code Chapter 2.12 - Sun Ranch Tourist Commercial (TC) District.

Action Requested: A Public Hearing for the adoption of Ordinance No. 538 - AN ORDINANCE OF CITY OF SISTERS AMENDING SISTERS DEVELOPMENT CODE CHAPTER 2.12, SUN RANCH TOURIST COMMERCIAL DISTRICT, THAT EXPAND AND CLARIFY THE TYPES OF ALLOWED USES AND APPLICABLE DEVELOPMENT STANDARDS.

Procedural Background:

The Applicant, Skidmore Consulting, LLC (Jon Skidmore), on behalf of property owner Lake House Inn, LLC (Ernie Larrabee), has proposed Text Amendments to Sisters Development Code (SDC) Chapter 2.12 - Sun Ranch Tourist Commercial (TC) District. The purpose is to expand and clarify the types of uses allowed and applicable development standards in the TC District to, as stated by the applicant, “reflect changes in the community and tourism industry.”

On April 18, 2024¹, the Planning Commission held a public hearing to receive testimony. At the conclusion of testimony, the Commission voted unanimously to continue the public hearing to May 16, 2024². In response to testimony and commissioner comments at the April 18 public hearing, the applicant coordinated with staff to revise the proposal to address issues raised and reduce the number of formatting changes proposed. After the close of the public hearing, the Commission recommended approval of the amendments as proposed by a 4-2 vote via adoption of PC Resolution 2024-01.

On June 26, 2024³, the City Council conducted a workshop to prepare for the upcoming public hearing. This workshop included a staff presentation with an overview of the proposal and review process to date and opportunity for councilor questions.

Since the June 26 workshop, staff has coordinated with city legal counsel and suggests revisions to some of the proposed special standards for RV Park and Lodging Facility uses included in the approval by the Planning Commission in PC Resolution 2024-01. The intent of

¹ 4/18/24 Planning Commission Meeting: <https://www.ci.sisters.or.us/bc-pc/page/planning-commission-85>

² 5/16/24 Planning Commission Meeting: <https://www.ci.sisters.or.us/bc-pc/page/planning-commission-76>

³ 6/26/24 City Council Meeting: <https://www.ci.sisters.or.us/bc-citycouncil/page/city-council-workshop-meeting-9>



these revisions is to provide clarification of the standards. These revisions are included in the draft ordinance and discussed in detail below.

Proposal:

Attached is draft Ordinance No. 538 (Attachment 1). Exhibit A to the ordinance identifies the specific amendments proposed with text removed identified by ~~striketrough~~ and text added identified by underline. In summary, the substantive elements of the proposed amendments to SDC Chapter 2.12 includes the following:

- **Additional New Uses:**
 - Retail Sales Establishment
 - Hostel
 - RV Park including Caretaker’s Quarters

- **Changes to Standards and Other Provisions:**
 - Amend the purpose statement to reflect removal of early 1900s Rural Farm/Ranch House design standards for the district.
 - Change “Restaurant, bar, and food services” to “Eating and drinking establishments” for consistency with the remainder of the SDC.
 - Add requirements for Hostel use that match standards for Hostels in the Highway Commercial District.
 - Reduce front and side yard setbacks from 20 to 10 feet.
 - Add Special Use Standard requiring maximum 1,000 square feet for Neighborhood Market and Retail Sales Establishment uses.
 - Add Special Use standard for RV Park use including:
 - Maximum stay of 30 days in any 90-day period.
 - Maximum of 65% of the gross area of property for use.
 - Required amenities to complement the use.
 - Add definition for existing Lodging Facility use.
 - Remove the early 1900s Rural Farm/Ranch House design standards for the district.

The Amendment Summary Matrix provided at the June 26 City Council workshop describes each of the proposed amendments to assist in the evaluation process.

As previously noted, staff has coordinated with city legal counsel and made revisions to some of the proposed special standards for RV Park and Lodging Facility uses that modify those reviewed by the Planning Commission. These revisions are summarized in Table 1.



Table 1.

Revised Code Section	Staff Revision	Explanation of Revision
2.12.1000(C)(1) RV Park Limit on Length of Stay	Adds reference to ORS 197.493.	Pursuant to ORS 197.493 ⁴ , the city may not impose any limit on the length of occupancy of an RV as a residential dwelling if the RV is located in an RV Park and lawfully connected to water, electrical supply systems, and a sewage disposal system. The provisions of ORS 197.493 do not preclude a property owner from choosing to limit the duration of stay for any RV. This addition identifies the potential applicability of ORS 197.493.
2.12.1000(C)(2) RV Park Area Limit	Adds detail for how the 65% maximum area limit is measured.	The required area limit did not specify where the area is measured from and what elements of the RV Park use are included. This addition provides that specificity.
2.12.1000(C)(3) RV Park Required Amenities	Edits wording and added requirement that amenities are provided prior to opening an RV Park.	Changes phrasing to improve readability. Addition of specifying when the amenities are completed ensures they are installed prior to operation.
2.12.1000(D) Definition of Lodging Facility	Adds duration of stay limit not to exceed 30 days in any 90-day period, adds reference to “transient occupancy,” and change reference to “park model recreational vehicle” to “park model manufactured dwellings.”	Duration of stay limit added for consistency with the proposed limit of stay in an RV Park in the TC District. Changes also clarify that a lodging facility is intended for transient, limited duration occupancy. In addition, the terminology for park model units is modified for accuracy.

V. PROJECT RECORD AND PUBLIC INVOLVEMENT

The official record for the project is available at Sisters City Hall. Electronic and printed copies are available upon request. In addition, the record is available via the City of Sisters [project](#)

⁴ ORS 197.493: https://www.oregonlegislature.gov/bills_laws/ors/ors197.html



[webpage](#)⁵ under the [project record link](#). The record includes all application materials, notices, agency comments, public comments, and staff reports.

A total of 6 public [meetings](#)⁶ have been held on the application:

- March 7, 2024 Planning Commission workshop
- March 21, 2024 Planning Commission workshop
- April 18, 2024 Planning Commission public hearing
- May 16, 2024 Planning Commission public hearing
- June 26, 2024 City Council workshop
- July 10, 2024 City Council public hearing

In addition, the applicant held a neighborhood meeting on January 10 at Sisters Coffee to present and discuss proposed text amendments with interested parties prior to submitting the application. The sign in sheet identifies eight individuals attended the meeting.

To-date, staff have received over 30 public comments via email that are part of the record for the project. The comments can be reviewed on the [project record webpage](#).

Information about the application was featured in the March and April Sisters Roundup newsletter. There have also been six stories in the Sisters Nugget newspaper since the application was received.

VI. NEXT STEPS

The Council will conduct a public hearing on July 10, 2024. At the conclusion of testimony, the City Council can consider the following options:

1. Continue the public hearing to a date certain.
2. Close the public hearing and leave the written record open to a date certain.
3. Close the hearing and set a date for deliberations.
4. Close the hearing and commence deliberations.

The Council will make a final decision via adoption of Ordinance No. 358. Decision options include:

1. Approve as drafted.
2. Approve portions as drafted.
3. Approve with amendments.

⁵ TA 24-01 Project Webpage: <https://www.ci.sisters.or.us/community-development/page/text-amendments-sun-ranch-tourist-commercial-district-%C2%A0>

⁶ City of Sisters Meetings: <https://www.ci.sisters.or.us/meetings>



CITY COUNCIL
Staff Report

4. Deny as drafted.

Financial Impact: N/A

Attachments:

1. ATTACHMENT 1 - Draft Ordinance No. 538 with Exhibits

ORDINANCE NO. 538

AN ORDINANCE OF CITY OF SISTERS AMENDING SISTERS DEVELOPMENT CODE CHAPTER 2.12, SUN RANCH TOURIST COMMERCIAL DISTRICT, THAT EXPANDS AND CLARIFIES THE TYPES OF ALLOWED USES AND APPLICABLE DEVELOPMENT STANDARDS

WHEREAS, Jon Skidmore of Skidmore Consulting, LLC, on behalf of property owner Lake House Inn, LLC (“Applicant”) sought approval of a legislative amendment to the text of the Sisters Development Code (the “Code”) under Planning File No. TA 24-01 (the “Application”);

WHEREAS, on April 18 and May 16, 2024, a public hearing on the Application was held before the Sisters Planning Commission (“Planning Commission”), testimony was accepted, and the Planning Commission voted to close the hearing and deliberate the matter;

WHEREAS, the Planning Commission, after reviewing the record and fully deliberating the matter, voted to recommended that the Sisters City Council (“City Council”) approve the Application;

WHEREAS, the Code requires a second hearing before the City Council for legislative text amendments;

WHEREAS, after due notice, a public hearing on the Application was held the City Council on July 10, 2024, testimony was accepted, and the City Council voted to close the hearing and deliberate the matter;

WHEREAS, the City Council, after reviewing the record and fully deliberating the matter, voted to approve the Application;

NOW, THEREFORE, THE CITY OF SISTERS ORDAINS AS FOLLOWS:

1. Findings. The findings contained in the recitals and those found in the staff report attached hereto as Exhibit A are hereby adopted in support of the land use decision made by this Ordinance No. 538 (this “Ordinance”).
2. Approved Text Amendments. The amendments to the Code contained in the attached Exhibit B are hereby approved and adopted. Those provisions of the Code that are not amended or modified by this Ordinance remain unchanged and in full force and effect. This Ordinance does not relieve any person of any obligations that may have accrued under SDC Chapter 2.15 prior to the effective date of this Ordinance. City may continue the enforcement, prosecution, conviction, and/or punishment of any person who has or will violate SDC Chapter 2.15 prior to the effective date of this Ordinance.
3. Authorization. The City Manager, or designee, is authorized to execute any documents and to take such actions as are necessary to further the purposes and objectives of this Ordinance including, without limitation, integrating the adopted text amendments into the Code.
4. Miscellaneous. All pronouns contained in this Ordinance and any variations thereof will be deemed to refer to the masculine, feminine, or neutral, singular or plural, as the identity of the parties may require. The singular includes the plural and the plural includes the singular. The word “or”

is not exclusive. The words “include,” “includes,” and “including” are not limiting. Any reference to a particular law, statute, rule, regulation, code, or ordinance includes the law, statute, rule, regulation, code, or ordinance as now in force and hereafter amended. If any section, subsection, sentence, clause, and/or portion of this Ordinance is for any reason held invalid, unenforceable, and/or unconstitutional, such invalid, unenforceable, and/or unconstitutional section, subsection, sentence, clause, and/or portion will (a) yield to a construction permitting enforcement to the maximum extent permitted by applicable law, and (b) not affect the validity, enforceability, and/or constitutionality of the remaining portion of this Ordinance. This Ordinance may be corrected by order of the City Council to cure editorial and/or clerical errors.

This Ordinance was PASSED and ADOPTED by the Sisters City Council by a vote of ___ for and ___ against and APPROVED by the mayor on this ___ day of _____, 2024.

Michael Preedin, Mayor

ATTEST:

Rebecca Green, Deputy Recorder



STAFF REPORT
Community Development Department

FILE #: TA 24-01

APPLICANT: Jon Skidmore – Skidmore Consulting, LLC
Ernie Larrabee - Lake House Inn, LLC

LOCATION: All of Sun Ranch Tourist Commercial District Including the Following Properties:
Address: 69013 Camp Polk Road / Tax Map and Lot: 15-10-4 1101
Address: 575 E. Sun Ranch Drive / Tax Map and Lot: 15-10-4BD 1900
Address: Unaddressed / Tax Map and Lot: 15-10-4BD 1901

REQUEST: Text Amendments to the Sisters Development Code Chapter 2.12 - Sun Ranch Tourist Commercial District. The purpose is to expand and clarify the types of uses allowed in the Sun Ranch Tourist Commercial District and other edits for consistency with the Sisters Development Code.

APPLICABLE CRITERIA: Sisters Development Code:
Chapter 1.3 – Definitions
Chapter 2.12 – Sun Ranch Tourist Commercial District
Chapter 4.1 – Types of Applications and Review Procedures
Chapter 4.7 – Land Use District Map and Text Amendments
City of Sisters Urban Area Comprehensive Plan
Oregon Statewide Land Use Goals

PLANNING COMMISSION HEARING DATES: April 18, 2024
May 16, 2024

CITY COUNCIL HEARING DATE: July 10, 2024

STAFF: Matthew Martin, Principal Planner

I. PROPOSAL:

The City of Sisters received an application that originally included text amendments to Sisters Development Code Chapter 1.3 (Definitions) and Chapter 2.12 (Sun Ranch Tourist Commercial (TC) District). The applicant, Ernie Larrabee of Lake House, LLC, indicates the purpose of the amendments is to expand and clarify the types of uses allowed in the TC District to reflect changes in the community and tourism industry.

During the review process of the Planning Commission, the applicant coordinated with staff to revise the proposal to address issues raised and reduce the number of formatting changes proposed. In summary, the revised proposal includes the following substantive changes to Chapter 2.12:

- **Additional New Uses:**
 - Retail Sales Establishment
 - Hostel
 - RV Park including Caretaker's Quarters

- **Changes to Standards and Other Provisions:**
 - Amend the purpose statement to reflect removal of early 1900s Rural Farm/Ranch House design standards for the district.
 - Change "Restaurant, bar, and food services" to "Eating and drinking establishments" for consistency with the remainder of the SDC.
 - Add requirements for Hostel use that match standards for Hostels in the Highway Commercial District.
 - Reduce front and side yard setbacks from 20 to 10 feet.
 - Add Special Use Standard requiring maximum 1,000 square feet for Neighborhood Market and Retail Sales Establishment uses.
 - Add Special Use standard for RV Park use including:
 - Maximum stay of 30 days in any 90-day period.
 - Maximum of 65% of the gross area of property for use.
 - Required amenities to complement the use.
 - Add definition for existing Lodging Facility use.
 - Remove the early 1900s Rural Farm/Ranch House design standards for the district.

The originally proposed amendment to Chapter 1.3 was withdrawn for the proposal.

II. **BACKGROUND:**

The applicant provided the following background of the subject properties and TC District:

The subject property enjoys a long history in the Sisters community. The site once had a schoolhouse on it. The old residential structure onsite was originally constructed in 1947. That house was used as the home of the Hitchcock family and then the Conklin family. The house was used as a bed and breakfast from the 1980s through the early 2000s.

In 2004/2005, the previous owner of the subject property purchased this property and the 35+/- acres adjacent to the north and west. That owner worked with the City to create the Sun Ranch Industrial Park, Sun Ranch Residential District, and the Sun Ranch Tourist Commercial zone. These zoning districts were planned cohesively to leverage uses within the various districts for the benefit of residents and workers within those districts. For instance, the industrial district was planned to provide jobs for people who may live in the residential district. The Tourist Commercial district was planned to provide amenities such as eating and drinking establishments or overnight accommodations for the benefit of the residents of the residential zone or workers in the industrial park. That interplay is still very much a goal for the subject property. The zone was also planned to invite tourists as well as other Sisters community members. The proposed text amendments seek to expand and clarify the permissible uses on site with those objectives in mind.

The SRTC district was created around a specific vision for the property. The uses permissible were tightly tailored to that vision. From 2004 through 2007, the previous owner worked with the city to create the entirety of the Sun Ranch concept. The bed and breakfast structure was meant to be a centerpiece of the SRTC zone. Remodeling of the bed and breakfast commenced to house a high-end restaurant about 2006/2007. The restaurateur that was heading the effort abandoned the project. The structure that was mid-renovation has sat unfinished since that time and is boarded up for safety reasons.

The vision for the SRTC zone in the mid-2000s is outdated at this point. Sisters was a different place at the time that the TC zoning district was created. For instance, Five Pine was still in initial phases of development. The housing stock in Sisters was extremely limited. There were fewer eating and drinking establishments in Sisters.

In 2007, the population of Sisters was 1,825 per the Portland State University Population Research Center statistics. PSU's Population Research Center estimates that the population of Sisters in 2025 will be 3,890. Since the economic recovery following the Great Recession, the Sun Ranch area has developed with a variety of businesses and residential units. This reality creates an opportunity to create a set of regulations that permit various uses in keeping with the intent of attracting tourists and locals alike. The vision for the property still includes overnight accommodations and food & beverage establishments but in different forms. This new vision includes higher end RV spaces that cater to the "vanlife" market and things like food carts, a tap house, corn hole, pickleball, small concert stage and other items that attract local and tourist visitors.

Currently, the purpose of the TC zone, as stated in SDC 2.12.100 is:

The purpose of the Sun Ranch Tourist Commercial district is to establish landmark lodging, dining, and recreation destinations and gathering places for business travelers, tourists and the residents of the area. The district is for commercial properties in transition areas between residential, light industrial and commercial areas. This district establishes commercial uses to complement adjacent mixed-use light industrial and residential districts. Special design standards apply to create a rural ranch setting separate from, but compatible with, the 1880s Western Frontier Architectural Design Theme. Another purpose of this district is to provide flexibility for expansion of lodging facilities and improve accessory components of the commercial lodging establishment such as meeting facilities, restaurant, bar, neighborhood market, etc.

The proposed, new language still aims to provide various tourism related uses to attract locals and tourists and to provide community gathering spaces.

"The purpose of the Sun Ranch Tourist Commercial district is to establish a variety of uses associated with tourism such as options for overnight accommodations, dining, entertainment, and recreation and to provide gathering space and uses that attract business travelers, tourists and members of the Sisters community alike."

Uses such as cabins for overnight rental are not as high in demand as other types of overnight accommodation. Food carts, tap rooms and recreational opportunities create places where people gather. The proposed text amendments seek to expand and clarify the types of uses on site but still honor the purpose of the district in its relationship to the community and the traveling public. Further, based on feedback from City staff, the proposed text amendments will put the SRTC zoning district into a format that is more consistent with the rest of the Sisters Development Code.

III. CONCLUSIONARY FINDINGS:

Sisters Development Code (SDC) Chapter 4, Table 4.1.200 lists a code amendment as a Type IV decision, regulated by Chapter 4.7 (Land Use District Map and Text Amendments). Section 4.7.200 states that legislative amendments are policy decisions made by the City Council and shall be reviewed using the Type IV procedure found in SDC Section 4.1.600 and shall conform to SDC section 4.7.600 Transportation Planning Rule compliance.

Pursuant to the SDC Section 4.1.600, the City may approve, approve with modifications, approve with conditions, deny the proposed change or recommend an alternative to the code text amendments based on the criteria in SDC 4.1.600.E. Decision-Making Considerations. The following are staff's conclusionary findings for each of the applicable criteria:

CHAPTER 4.1 – TYPES OF APPLICATION AND REVIEW PROCEDURES

4.1.100 Purpose

The purpose of this chapter is to establish standard decision-making procedures that will enable the City, the applicant, and the public to reasonably review applications and participate in the local decision-making process in a timely and effective way.

Staff Finding: Staff finds that this provision is advisory.

4.1.200 Description of Permit/Decision-Making Procedures

All land use and development permit applications, except building permits, shall be decided by using the procedures contained in this Chapter. General provisions for all permits are contained in Section 4.1.700. Specific procedures for certain types of permits are contained in Section 4.1.200 through 4.1.600. The procedure "type" assigned to each permit governs the decision-making process for that permit. There are four types of permit/decision-making procedures: Type I, II, III, and IV. These procedures are described in subsections A-D below. In addition, Table 4.1.200 lists all of the City's land use and development applications and their required permit procedure(s).

...

D. Type IV Procedure (Legislative). Type IV procedures apply to legislative matters. Legislative matters involve the creation, revision, or large-scale implementation of public policy (e.g., adoption of land use regulations, zone changes, and comprehensive plan amendments which apply to entire districts). Type IV matters are considered initially by the Planning Commission with final decisions made by the City Council and appeals possible to the Oregon Land Use Board of Appeals.

Staff Finding: The applicant is proposing text amendments to the Sisters Development Code. The amendments propose a revision to adopted land use regulations, thereby requiring compliance with Type IV procedure.

A. Notice of all Type III and IV hearings will be sent to public agencies and local jurisdictions (including those providing transportation facilities and services) that may be affected by the proposed action. Affected jurisdictions could include ODOT, the Department of Environmental Quality, the Oregon Department of Aviation, and neighboring jurisdictions.

Staff Finding: Partner organizations and agencies staff identified as having a particular interest in the proposal were notified of the proposal and invited to participate.

4.1.600 Type IV Procedure (Legislative)

A. Application requirements. See 4.1.700.

B. Notice of Hearing.

- 1. Required hearings. A minimum of two hearings, one before the Planning Commission and one before the City Council, are required for all Type IV applications, except annexations where only a hearing by the City Council is required.**
- 2. Notification requirements. Notice of public hearings for the request shall be given by the Community Development Director or designee in the following manner:**

...

Staff Finding: Staff provided notice in accordance with 4.1.600(B) at least 14 days prior to the public hearings before the Planning Commission and City Council.

...

E. Decision-Making Considerations. The recommendation by the Planning Commission and the decision by the City Council shall be based on consideration of the following factors:

- 1. Approval of the request is consistent with the Statewide Planning Goals;**

Staff Finding: Staff has outlined review of compliance with the Statewide Planning Goals below.

Goal 1 – Citizen Involvement.

Staff Finding: During the text amendment process, public notice of the proposal was provided through published notice in The Nugget newspaper, mailed to owners of property in the TC District, mailed to participants of record, and posted at City Hall. The City held public hearings before the Planning Commission and City Council. In addition, the applicant voluntarily held a public meeting prior to submittal of the application. These opportunities for public involvement satisfy Goal 1.

Goal 2 – Land Use Planning.

Staff Finding: Staff is following the prescribed procedure for a text amendment to ensure adequate review of the proposed text amendment. Staff finds Goal 2 is met.

Goals 3 and 4, Agricultural and Forest Lands

Staff Finding: These Goals are not applicable as the proposed text amendments will not have any known impact on either Agricultural or Forest Lands.

Goal 5 – Natural Resources, Scenic and Historic Areas, and Open Spaces.

Staff Finding: Staff finds Goal 5 is not applicable because the proposed text amendments will not have any known impact on inventoried natural resources, scenic and historic areas, and open spaces. While the house on the property may be older and associated with significant past Sisters residents, it does not have any specific historic status or protections.

Goal 6 – Air, Water and Land Resources Quality.

Staff Finding: Staff finds Goal 6 is not applicable because the proposed text amendments, including the new uses, are not associated with the types of pollution, contaminants, or industrial byproducts that this goal addressed.

Goal 7 – Areas Subject to Natural Hazards.

Staff Finding: Staff finds Goal 7 is not applicable because the subject properties do not contain and are uniquely susceptible to any natural hazards.

Goal 8 – Recreational Needs.

Staff Finding: The applicant proposes RV Park as a permitted use. In conjunction with an RV Park, at least two recreational amenities shall be required including fishing pond, decks, docks and other areas to enjoy the pond, sport courts, dog park, multi-use trails and paths, playground, small stage, and fire pits. Staff finds these amenities will enhance and add to recreational opportunities in the community. Based on this information, staff finds Goal 8 is satisfied.

Goal 9 – Economic Development.

Staff Finding: The City has adopted an Economic Opportunities Analysis (EOA) that identifies economic land needs, target industries, and other local policies aimed at assuring economic opportunities within Sisters. The City has identified a continued focus on tourism related industries and expansion of those types of uses to attract tourism activity in the shoulder season. The proposed text amendments will expand the types of uses permissible within the TC District that will specifically or indirectly attract tourists year-round. Staff finds Goal 9 is met.

Goal 10 – Housing.

Staff Finding: Staff finds Goal 10 is not applicable because the proposed text amendments do not address the housing needs of the city. Staff would note that the currently allowed uses in the TC District, as well as the proposed added uses, such as RV park, are intended to be temporary living accommodations and not intended to provide long term housing.

Goal 11 – Public Facilities and Services

Staff Finding: Agency comments received did not express concern with the adequacy of public facilities and services to accommodate the uses and standards as proposed. Further, review of development for adequacy of public facilities and services remains unchanged with the proposed amendments. Staff finds that the amendments comply with Goal 11.

Goal 12 – Transportation

Staff Finding: The City adopted an updated Transportation System Plan (TSP) in December 2021. The TC District is bound on E. Barclay Avenue and Camp Polk Road, both classified as collector streets in the TSP. Improvements to Barclay Avenue are planned and improvements to Camp Polk Road will be contemplated as part of future any development proposals.

The applicant submitted a Trip Generation and Transportation Planning Rule (TPR) Analysis memo from Melissa Webb, PE with Lancaster Mobley Engineers (Application Exhibit F). The study reviewed the morning peak hour, evening peak hour, and average daily trip generation potential of the site under both the existing allowable land uses and the proposed additional allowable land uses. The study concluded that the proposed text amendments would not degrade the performance of any existing or planned transportation facility. Accordingly, the TPR is satisfied, and no mitigation is necessary or recommended in conjunction with the proposed text amendment. Comments received from the City Transportation Engineer express agreement with the assessment presented by Lancaster Mobley and the opinion that, as outlined, the proposed text amendments remain compliant with the TPR and noted the types of uses allowed with the amendments are lower in intensity than those already permitted within the zoning. Any

future development on the property may be required to submit an updated traffic study to look at specific traffic impacts and necessary mitigation measures.

Based on this information, staff finds the proposal complies with Goal 12.

Goal 13 – Energy Conservation

Staff Finding: No impact on energy conservation is anticipated. Therefore, This provision does not apply.

Goal 14 – Urbanization

Staff Finding: The proposed text amendments apply only to properties located within the current city limits. Therefore, staff finds Goal 14 is not applicable.

Goals 15 through 19.

Staff Finding: Goals 15, 16, 17, 18 and 19 are not applicable because they only pertain to areas outside of Central Oregon.

2. Approval of the request is consistent with the Comprehensive Plan; and

Staff Finding: The Comprehensive Plan contains Goals and Policies for land use and development within the City. In turn, the Development Code implements the Goals and Policies of the Comprehensive Plan. Any amendments to the Development Code must be consistent with the applicable Goals and Policies of the Comprehensive Plan. Findings specific to applicable Goals and Policies are provided below:

Sisters Comprehensive Plan Section 1: Public Involvement

Goal 1

Offer a wide variety of traditional and contemporary tools and opportunities that enable and empower a diverse population of residents, business owners, private organizations, and partner agencies located inside and outside City limits to participate in all land use processes.

Objective 1.1

To maintain an effective Citizen Involvement Program and recognize an official body; a Committee for Citizen Involvement (CCI) will be responsible for overseeing and regularly reviewing the effectiveness of the program in order to grow public awareness and participation.

Policies:

1.1.1 The Citizen Involvement Program will be directed by the City’s Planning Commission, sitting as the Committee for Citizen Involvement. The Planning Commission shall seek multiple methods to support and cultivate additional, new, and ever-expanding citizen involvement opportunities including working directly with private organizations to amplify opportunities for involvement.

Staff Finding: The proposed amendments were reviewed at Planning Commission and City Council meetings via public hearings, which are open to the public with opportunities for public involvement. The amendment proposal has followed the notice requirements in Chapter 4.1, including mailed and published notice of the public hearing. Staff finds the review process for the proposed text amendments complies with the policy.

Objective 1.2

To recognize the need to use a variety of traditional and contemporary communication tools and channels in the Citizen Involvement Program, including communication methods that will reach diverse audiences and drive greater awareness and participation in all phases of planning processes.

Policies:

...

1.2.2 The City shall ensure that information about planning activities and notices of upcoming meetings are maintained on the City's website and distributed via a variety of outlets and methods, including non-traditional methods that might be more successful at reaching underrepresented or less frequently involved members of the public such as greater use of social media pages, email list serves, or partnerships with local community organizations.

Staff Finding: Notice of the public hearings was published in The Nugget newspaper, emailed to the subscriber list of the City's Planning Commission listserv, mailed to owners of property in the TC District and participants of record, and posted at City Hall. Staff finds the review process for the proposed text amendments complies with this policy.

1.2.3 The City shall provide information about planning activities and notices of upcoming meetings in clear, understandable language and will include information about relevant City processes and procedures. This will include brief descriptions of items that City Council and Planning Commission will be discussing.

Staff Finding: Notice of the public hearing includes information about relevant City processes and procedures in clear, understandable language, with a listed contact person in the event an individual needs additional information. Staff finds the review process for the proposed text amendments complies with this policy.

...

1.2.6. The City shall provide options for community members to view and participate in all official City meetings remotely in order to reduce barriers to participation.

Staff Finding: The public meetings will include use of the Zoom online meeting app to provide opportunity for remote participation. A contact person is listed on the notice of public hearing for individuals that may need to request special accommodations prior to the hearing in order to reduce barriers to participation. Staff finds the review process for the proposed text amendments complies with this policy.

...

1.3.1 The City shall provide information necessary to reach policy decisions at City Hall, on the City's website, and via other avenues as appropriate.

Staff Finding: The project record is available at City Hall for inspection. In addition, a project specific page of the City of Sisters website has been created to provide information relevant to this project¹.

Sisters Comprehensive Plan Section 2: Land Use

¹ Project webpage: <https://www.ci.sisters.or.us/community-development/page/text-amendments-sun-ranch-tourist-commercial-district-%C2%A0>

Goal 2

Continue to implement a Land Use Planning process and policy framework as a basis for all decisions and actions related to the use of land; ensure an adequate factual base for such decisions and actions are consistent with the policy framework, other Comprehensive Plan policies, and the implementing planning documents.

Policies:

...

2.1.2 The City of Sisters shall continue to maintain, enhance, and administer land use codes and ordinances that are based on an adequate factual basis, the goals and policies of this Comprehensive Plan, and applicable local, state, and federal regulations.

Staff Finding: The applicant addressed this policy with the following:

The proposed text amendments are geared towards updating and clarifying the permissible uses within the Tourist Commercial zone. Comprehensive Plans and Development Codes are living documents that require routine updates based on changes in federal and state law, local policy direction, and response to changing market conditions. In this instance, the applicant is proposing text amendments to the Tourist Commercial zone that will contribute to many of the goals and policies of the Comprehensive Plan and supporting documents as discussed below. Identifying the applicable Comprehensive Plan policies and explaining how the amendments are consistent with and will contribute to various policy ambitions provides the factual basis needed to support the changes. Changes that have occurred since the SRTC zone was adopted on the subject property, within the Sisters community and amongst travel behavior of tourists that also support these proposed amendments.

The applicant also notes the changes in the community, the district, and travel behavior that warrant consideration of the proposed amendments.

As detailed in the application narrative, the applicant contends, "As documented in the City's Comprehensive Plan, the City's EOA and the Sisters Country Vision, tourism has been and will continue to be an economic driver for the community. The EOA explains that uses that attract tourists provide desirable amenities for locals as well." Staff agrees with this opinion.

Based on this information, and as discussed throughout this report, staff finds the proposed amendments are based on factual information, the goals and policies of this Comprehensive Plan, and applicable local, state, and federal regulations and the proposed text amendments complies with this policy.

...

2.1.4 The City shall notify and engage partner organizations, residents, property owners, and businesses as part of processes to update and amend the City's Comprehensive Plan and Development Code.

Staff Finding: Notice of the public hearings was provided consistent with the City Development Code and Oregon State Law. Partner organizations and agencies staff identified as having a particular interest in the proposal were notified of the proposal and invited to participate. Owners of property in the TC District were identified to be affected by the proposed amendments, so Measure 56 notice was provided to these owners. Notice of the public hearings was posted in a variety of methods as previously listed. Staff finds the review process for the proposed text amendments complies with this policy.

- 2.1.7 The City shall continue to explore opportunities to incorporate new regulatory approaches and other best practices to implement the Comprehensive Plan in a manner that can be administered effectively and efficiently.**

Staff Finding: The applicant argues the text amendments allow property owners within the TC District to respond to changing market conditions and travel behavior is an effective way to adjust the city's development code to deliver on the tourism economic development policy ambitions in the City's Comprehensive Plan, EOA, and the Sisters Country Vision. Staff finds the amendments represent an evolution in the regulatory approach for uses and development standards in the TC District. Further, staff finds the proposed amendments that incorporate basic formatting and development standards similar to other commercial district chapters of the Sisters Development Code provide consistency and ease of use and implementation. Based on this information, staff finds this policy is met.

...

Sisters Comprehensive Plan Section 4: Livability

Goal 4

Maintain and enhance the livability of Sisters as a welcoming community with a high quality of life and a strong community identity.

Objective 4.1: Community Identity

To promote projects, programs, and initiatives that strengthen the community's identity, including historic resources, scenic views, trees, artisanal activities, and inclusive attitude towards all community members.

Policies:

- 4.1.1 The City shall recognize and conserve the environment and natural resources that enhance the community's identity, including open spaces, natural landscapes, outdoor recreation areas, historic structures, architectural styles, and public art.**

Staff Finding: The proposed amendments remove the TC District specific 1900s Rural Farm/Ranch House Design Theme standards. This results in the 1880s Western Frontier Design Theme being applicable to the TC District along with all other commercial districts. The proposed amendments do not have a greater impact on conservation of the environment and natural resources than those uses already allowed in the TC District. Based on this information, staff finds the proposed text amendments comply with this policy.

Objective 4.2: Neighborhood Design

To facilitate development and redevelopment of neighborhoods to support community members' economic, social, and cultural needs, and promote health, well-being, universal access, and innovative design.

Policies:

...

- 4.2.3 The City shall encourage transitions between residential and nonresidential areas through the use of buffers, screening, or other methods to improve compatibility and reduce impacts to residential neighborhoods.**

Staff Finding: The TC District is located adjacent to the North Sisters Business Park District and Airport District to the north, the North Sisters Business Park and Light Industrial Districts to the west, the Downtown Commercial District to the south. These zones are primarily intended to provide for commercial and industrial uses with limited opportunities for residential uses in the North Sisters Business Park and Downtown Commercial District resulting in a mixed-use environment. The properties to the east are located outside the city limits, zoned Rural Residential, and comprised of primarily larger acreage with limited residential development. Based on this information, staff does find these districts and existing development do not constitute a residential neighborhood.

Comments received expressed concern with noise, light, and other negatives associated with an RV Park use may have on adjacent residential use. Staff notes the special use standards applicable to RV Parks in SDC 2.15.1700(G) state, "Screening. The recreational vehicle park shall be enclosed by a fence, wall, landscape screening, berms, or by other designs approved by the Hearings Body which will complement the landscape and assure compatibility with the adjacent environment." This standard provides the opportunity to require project specific screening at the time of development review to address such impacts.

Based on this information, staff finds the proposal complies with this policy. With that said, if the Commission finds this area constitutes an area of transition between residential and nonresidential areas, the Commission may consider additional development or design requirements to improvement compatibility and reduce impacts on residential neighborhoods.

...

Sisters Comprehensive Plan Section 7: Parks, Recreation, And Open Space

Staff Finding: Staff has reviewed this section and did not identify any policies that are applicable to this proposal. With that said, the proposed RV Park use requires at least two recreational amenities including fishing pond, decks, docks and other areas to enjoy the pond, sport courts, dog park, multi-use trails and paths, playground, small stage, and fire pits. Staff finds these amenities will enhance and add to recreational opportunities in the community.

Sisters Comprehensive Plan Section 8: Economy

Goal 8

Provide adequate opportunities for a variety of economic activities vital to the health, welfare, and prosperity of the City's community.

Policies:

8.1 The City shall maintain and enhance the appearance and function of the Commercial Districts by providing a safe and aesthetically pleasing pedestrian environment, encouraging mixed use development and unique design using the City's Western Frontier Architectural Design Theme.

Staff Finding: The proposed text amendments will remove the TC District specific 1900s Rural Farm/Ranch House Design Theme thereby applying the City's 1880s Western Frontier Architectural Design that is applicable in all commercial districts. Staff finds the proposed text amendments comply with this policy.

...

- 8.3 The City shall promote pedestrian scale developments in the commercial zones. Auto-oriented developments such as restaurants with drive-up windows will be discouraged, limited or prohibited in the Downtown area; in other areas, they shall be limited and managed to minimize their impacts.**

Staff Finding: Auto-oriented developments is not a defined term in the Sisters Development Code or the Merriam-Webster Dictionary. With that said, Staff acknowledges the definitions section of SDC 1.3.300 includes a definition for “Auto-dependent use”² and uses this definition in addressing this policy. Currently, The TC District prohibits “auto-oriented uses and drive-through facilities.” The applicant proposes to change the terminology used from “auto-oriented” to “auto-dependent” to match the defined term. Staff notes such a use will continue to be prohibited in the district.

The applicant is proposing RV Park as a new use in the TC District, a commercial zone. RVs by design require the use of a vehicle. However, based on the definition of “auto-dependent use,” staff finds RV Park is no such use because the use does not service motor vehicles. Instead, staff finds the relationship of an RV Park to vehicles is similar to that of a hotel in that hotels typically serve the traveling public that arrive by motor vehicle.

Based on this information, staff finds this policy is met.

- 8.4 The City shall assure development contiguous to commercial and residential zones is designed and built in a manner that is consistent and integrates with the character and quality of those zones, including minimizing potential adverse impacts related to noise, odor, or light from commercial or industrial uses. Building shall be constructed in an attractive and inviting manner, without disrupting operations.**

Staff Finding: The definition section of SDC 1.3.300 includes a definition for “Abutting.”³ Based on the definition, the TC District is not contiguous to any residential zones and is contiguous to the Downtown Commercial District. In addition, while the North Sisters Business Park District is not by name a commercial zone, staff finds it is commercial in nature and compliance with this policy is applicable.

This policy is directed at the designed and built environment. The applicant is proposing new uses and reduced setbacks. The proposed setbacks are generally consistent with the setback standards of the other commercial districts in the city. In addition, the applicant is proposing to remove the district specific 1900s Rural Farm/Ranch House Design Theme resulting in implementing the City’s 1880s Western Frontier Architectural Design Theme that is applicable in all commercial districts.

In addition to the design standards and the development standards of the district, new development will be subject to the applicable site plan review criteria of SDC 4.2, design standards of SDC Chapter 3, and special use standards of SDC 2.15.

As previously discussed, comments received expressed concern for the impacts created by RV Park use in the district.

² SDC 1.3.300 “Auto-dependent use – The use services motor vehicles and would not exist without them, such as vehicle repair, gas station, quick lube/service facilities, car wash, auto and truck sales.”

³ SDC 1.3.300 “Abutting – Two or more lots or features (such as buildings) joined by a common boundary line or point. It shall include the terms adjacent, adjoining and contiguous.”

Based on this information, staff finds the proposal complies with this policy. With that said, if the Commission finds additional development or design standards are warranted, the Commission may consider additional requirements to address this policy.

...

8.7 The City shall implement development standards such as buffers, setbacks, landscaping, sign regulation and building height restrictions, to minimize the impacts of commercial and industrial uses on adjacent residential areas, including those related to noise, odor, or excessive lighting. Such standards will be applied in light-industrial parks and other transition areas.

Staff Finding: As previously discussed, Staff finds the TC District is not adjacent to residential areas based on the definition of “Abutting” as specified in the Sisters Development Code. Based on this information, staff finds this policy is not applicable to this proposal.

- 3. The property and affected area is presently provided with adequate public facilities, services and transportation networks to support the use, or such facilities, services and transportation networks are planned to be provided concurrently with the development of the property. The applicant must demonstrate that the property and affected area shall be served with adequate public facilities, services and transportation networks to support maximum anticipated levels and densities of use allowed by the District without adversely impacting current levels of service provided to existing users; or applicant’s proposal to provide concurrently with the development of the property such facilities, services and transportation networks needed to support maximum anticipated level and density of use allowed by the District without adversely impacting current levels of service provided to existing users.**

RESPONSE: The TC District currently has adequate public facilities, services, and transportation networks to support the proposed uses and is anticipated to continue to provide adequate service with the maximum anticipated levels and uses allowed by the amendments. They are not anticipated to have a significant impact on existing or planned transportation and public facilities for the following reasons.

SEWER:

The city adopted the Wastewater System Capital Facilities Plan in 2016. The plan analyzed the ability to provide necessary sewer service based on development that could occur within the existing zoning districts and forecasted population growth. The sewer system was found to be sized appropriately to accommodate commercial level flows from the property. The proposed text amendments do not include new uses that are anticipated to exceed sewer capacity needs of the uses currently allowed in the TC District. No comments were submitted by Public Works or the City Engineer that expressed concern with serving the new uses proposed. Staff notes actual impacts on the system will be evaluated at the time land use review of future development.

WATER:

The city adopted the Water Capital Facilities Plan Update in 2018. The plan analyzed the ability to serve the community with water based on the existing zoning districts and forecasted population growth. This analysis included the SRTC zoning for the property. While the plan identifies maintenance and capital projects to meet the needs of to accommodate future growth, the plan identified adequate capacity to serve the TC District. No comments were submitted by Public Works or the City Engineer that expressed

concern with serving the new uses proposed. Staff notes actual impacts on the system will be evaluated at the time land use review of future development.

TRANSPORTATION:

The City adopted an updated Transportation System Plan (TSP) in 2021. Figure 4-3 from the TSP shows that the subject property has frontage on two collector roads, E. Barclay Drive to the south and Camp Polk Road to the east. Per figure 3-3 from the TSP, Camp Polk Road contains a bicycle lane. Planned improvements to E. Barclay Drive, including bicycle and pedestrian facilities, along with existing street connectivity will accommodate multiple modes of transportation and trip distribution.

The transportation impacts resulting from the proposed text amendments are analyzed in the submitted Trip Generation & Transportation Planning Rule Analysis by Melissa Webb, PE with Lancaster Mobley transportation engineers (Application Exhibit F). Based on the trip generation analysis, the proposed new and clarified uses will not generate more trips than can be developed under the current zoning. As previously noted, comments received from the City Transportation Engineer express agreement with the assessment presented by Lancaster Mobley and the opinion that, as outlined, the types of uses allowed with the amendments are lower in intensity than those already permitted within the zoning.

Comments received expressed concern with traffic impacts associated with RV Park use of the property. However, these comments were anecdotal in nature and did not provide fact-based analysis to rebut the findings of the information provided by the applicant and affirmed by the City Transportation Engineer.

Based on this information, staff finds this policy is met.

4. Compliance with 4.7.600, Transportation Planning Rule (TPR) Compliance

Staff Finding: Compliance with SDC 4.7.600 is addressed below.

CHAPTER 4.7 – LAND USE DISTRICT MAP AND TEXT AMENDMENTS

4.7.100 Purpose

The purpose of this Chapter is to provide standards and procedures for legislative and quasi-judicial amendments to this Code and the Land Use District map. These amendments will be referred to as “map and text amendments.” Amendments may be necessary from time to time to reflect changing community conditions, needs and desires, to correct mistakes, or to address changes in the law.

Staff Finding: Staff finds that this provision is advisory.

4.7.200 Legislative Amendments

Legislative amendments are policy decisions made by City Council. They are reviewed using the Type IV procedure in Chapter 4.1, Section 600 and shall conform to Section 4.7.600, as applicable.

Staff Finding: The proposal is for legislative changes to the Development Code through a text amendment application. Accordingly, this review is using the Type IV procedure in Chapter 4.1.600 and is required to conform to Section 4.7.600 (as applicable). Discussion regarding Chapter 4.1.600 is reviewed above.

...

4.7.600 Transportation Planning Rule Compliance

-
- A. When a development application includes a proposed comprehensive plan amendment or land use district change, the proposal shall be reviewed by the City to determine whether it significantly affects a transportation facility, in accordance with Oregon Administrative Rule (OAR) 660-012-0060. Significant means the proposal would:
1. Change the functional classification of an existing or planned transportation facility. This would occur, for example, when a proposal is projected to cause future traffic to exceed the capacity of “collector” street classification, requiring a change in the classification to an “arterial” street, as identified by the Transportation System Plan; or
 2. Change the standards implementing a functional classification system; or
 3. Allow types or levels of land use that would result in levels of travel or access what are inconsistent with the functional classification of a transportation facility; or
 4. The effect of the proposal would reduce the performance standards of a public utility or facility below the minimum acceptable level identified in the Transportation System Plan.
- B. Amendments to the Comprehensive Plan and land use standards which significantly affect a transportation facility shall assure that allowed land uses are consistent with the function, capacity, and level of service of the facility identified in the Transportation System Plan. This shall be accomplished by one of the following:
1. Limiting allowed land uses to be consistent with the planned function of the transportation facility; or
 2. Amending the Transportation System Plan to ensure that existing, improved, or new transportation facilities are adequate to support the proposed land uses consistent with the requirement of the Transportation Planning Rule; or,
 3. Altering land use designations, densities, or design requirements to reduce demand for automobile travel and meet travel needs through other modes of transportation.

Staff Finding: The Trip Generation and Transportation Planning Rule Analysis provided by Melissa Webb, PE with Lancaster Mobley Engineers found that the trip generation potential from the existing zoning district language would produce a much higher volume of trips than the trips produced if the site were developed exclusively with the proposed new uses. Therefore, the analysis concluded the proposal will not “degrade the performance of any planned or existing transportation facility. Accordingly, the TPR is satisfied, and no mitigation is necessary or recommended in conjunction with the proposed text amendment.” Comments received from the City Transportation Engineer express agreement with the assessment presented by Lancaster Mobley and the opinion that, as outlined, the proposed text amendment remains compliant with the Transportation Planning Rule.

As previously noted, comments received expressed concern with traffic impacts associated with RV Park use of the property but did not provide fact-based analysis to rebut the findings of the information provided by the applicant and affirmed by the City Transportation Engineer.

Based on this information, staff finds this criterion is met.

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**DEVELOPMENT CODE AMENDMENTS
CITY OF SISTERS DEVELOPMENT CODE
CHAPTER 2.12 – SUN RANCH TOURIST COMMERCIAL DISTRICT**

New text shown in underline

Removed text shown in ~~strikethrough~~

Chapter 2.15 – Special Provisions

Sections:

- 2.12.100 Purpose**
- 2.12.200 Applicability**
- 2.12.300 Permitted Uses**
- 2.12.400 Lot Requirements**
- 2.12.500 Height Regulations**
- 2.12.600 Setbacks and Buffering**
- 2.12.700 Lot Coverage**
- 2.12.800 Off-Street Parking**
- 2.12.900 Landscape Area Standards**
- 2.12.1000 Special Standards for Certain Uses**
- ~~**2.12.1100 Design Theme**~~

2.12.100 Purpose

The purpose of the Sun Ranch Tourist Commercial district is to establish landmark lodging, dining, and recreation destinations and gathering places for business travelers, tourists and the residents of the area. The district is for commercial properties in transition areas between residential, light industrial and commercial areas. This district establishes commercial uses to complement adjacent mixed-use light industrial and residential districts. ~~Special design standards apply to create a rural ranch setting separate from, but compatible with, the 1880s Western Frontier Architectural Design Theme.~~ Another purpose of this district is to provide flexibility for expansion of lodging facilities and improve accessory components of the commercial lodging establishment such as meeting facilities, restaurant, bar, neighborhood market, etc.

2.12.200 Applicability

The standards of the Sun Ranch Tourist Commercial district, as provided for in this section, shall apply to those areas designated Sun Ranch Tourist Commercial district on the City's

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Zoning Map. All structures within the Sun Ranch Tourist Commercial district shall meet the design requirements contained in the Special/Limited Use Standards in this chapter.

2.12.300 Permitted Uses

A. Permitted uses. Uses permitted in the TC District are listed in Table 2.12.300 with a “P.” These uses are allowed if they comply with the development standards and other regulations of this Code. Being listed as a permitted use does not mean that the proposed use will be granted an exception or variance to other regulations of this Code.

B. Special Provisions. Uses that are allowed in the TC District subject to special provisions are listed in Table 2.12.300 with an “SP.” These uses are allowed if they comply with the special provisions in Chapter [2.15](#).

C. Conditional uses. Uses that are allowed in the TC District with approval of a conditional use permit are listed in Table 2.12.300 with either a Minor Conditional Use “MCU” or a Conditional Use “CU.” These uses must comply with the criteria and procedures for approval of a conditional use set forth in Chapter [4.4](#) of this Code.

D. Similar uses. Similar use determinations shall be made in conformance with the procedures in Chapter [4.8](#) – Code Interpretations.

Table 2.12.300 Use Table for the Sun Ranch Tourist Commercial District		
Land Use Category	Permitted/Special Provisions/Conditional Uses	Special Use References
Commercial		
Cottages. The types of cottages are: 1. Studio, one, and two bedroom detached cottage units. 2. Studio, one, and two bedroom attached cottage units (max. 3 units per building).	P	See Section 2.12.1000
Lodging facilities.	P	
Office	P	

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Table 2.12.300 Use Table for the Sun Ranch Tourist Commercial District		
Land Use Category	Permitted/Special Provisions/Conditional Uses	Special Use References
Restaurant, bar and food services.- Eating and drinking establishments.	P	
Saunas, steam rooms, hot tubs, exercise equipment facilities and other spa-related uses.	P	
Amusement Uses (e.g. game rooms and other entertainment) oriented uses primarily for enjoyment by guests staying in the cottages or lodging facilities within the Sun Ranch Tourist Commercial district including, but not limited to, bicycle rentals, canoe rentals and movie rentals, etc.	P	
Neighborhood Market	P	See Section 2.12.1000
Retail sales establishment	P	See Section 2.12.1000
Laundry Establishment focusing on providing for needs of guests staying in the cottages or lodging facilities within the Sun Ranch Tourist Commercial district.	P	See Section 2.12.1000
Multi-use trails and paths.	P	
Small chapels, ceremonial pavilions and outdoor seating areas. Such uses designed to accommodate occupancies of 300 persons or more shall require a Conditional Use Review.	P/CU	
Decks, docks and other areas to provide enjoyment of the ponds.	P	

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Table 2.12.300 Use Table for the Sun Ranch Tourist Commercial District		
Land Use Category	Permitted/Special Provisions/Conditional Uses	Special Use References
Special events/meeting facility, reception hall or community center. Such uses designed to accommodate occupancies of 300 persons or more shall require a Conditional Use Review.	P/CU	
Cideries, Distilleries, Wineries and Breweries	P	
<u>Hostel</u>	<u>P</u>	<u>Accessory use to primary permitted use; 25 guest occupancy limit plus staff, and 14 day stay limit for each 30 day period.</u>
<u>RV Park including caretaker's quarters</u>	<u>P</u>	<u>See Section 2.12.1000 and subject to Chapter 2.15.1700 of the Sisters Development Code.</u>
Similar uses.	P	
Accessory uses.	P	
Utility service lines.	P	
Prohibited Uses		
Auto- oriented - <u>dependent</u> uses and drive-through uses.	P	
Telecommunications equipment, other than telecommunication service lines and cell towers.	P	

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Table 2.12.300 Use Table for the Sun Ranch Tourist Commercial District		
Land Use Category	Permitted/Special Provisions/Conditional Uses	Special Use References
Industrial, residential, and public and institutional uses except as allowed in Table 2.12.300	P	

Key: P = Permitted SP = Special Provisions

MCU = Minor Conditional Use Permit CU = Conditional Use Permit

E. Formula Food Establishments. The City of Sisters has developed a unique community character in its commercial districts. The City desires to maintain this unique character and protect the community’s economic vitality by ensuring a diversity of businesses with sufficient opportunities for independent entrepreneurs. To meet these objectives, the City does not permit Formula Food Establishments within this zone.

2.12.400 Lot Requirements

Lot requirements for the Sun Ranch Tourist Commercial district will be determined by the spatial requirements for that use, associated landscape areas, and off-street parking requirements.

2.12.500 Height Regulations

No building or structure shall be hereafter erected, enlarged or structurally altered to exceed a height of 30 feet.

2.12.600 Setbacks and Buffering

All building setbacks within the Sun Ranch Tourist Commercial district shall be measured from the property line to the building wall or foundation, whichever is less.

Decks and/or porches greater than 30" in height that require a building permit are not exempt from setback standards. Setbacks for decks and porches are measured from the edge of the deck or porch to the property line. The setback standards listed below apply to primary structures as well as accessory structures. A Variance is required in accordance with Chapter [5.1](#) to modify any setback standard.

A. Front Yard Setback

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New buildings shall be at least ten feet from ~~the front property line except buildings and structures adjacent to Camp Polk Road or Barclay Drive shall have a minimum of a 20 foot setback from~~ the edge of the right of way.

B. Side Yard Setback

There is no minimum side yard setback required except where clear vision standards apply. ~~A 10-foot setback is required for side yards that are adjacent to a street. However, structures adjacent to Camp Polk Road or Barclay Drive shall have a minimum of a 20 foot setback from the edge of the right of way.~~ Buildings shall conform to applicable fire and building codes.

C. Rear Yard Setback

There is no minimum rear yard setback required except where clear vision standards apply. ~~However, structures adjacent to Camp Polk Road or Barclay Drive shall have a minimum of a 20 foot setback from the edge of the right of way.~~ Buildings shall conform to applicable fire and building codes.

D. Buffering

Any outside storage area (including trash/recycling receptacles) associated with a use on any site shall be buffered by masonry wall, site obscuring fencing or other measures using materials that are compatible with the color and materials of the primary buildings on site.

2.12.700 Lot Coverage

There is no maximum lot coverage requirement, except that complying with other sections of this code (landscape and pedestrian circulation, parking, etc.) may preclude full lot coverage for some land uses.

2.12.800 Off-Street Parking

The off-street parking requirements for uses in the Sun Ranch Tourist Commercial district may be satisfied by off-site parking lots or garages per Chapter [3.3](#). Parking Location and Shared Parking. Parking requirements for uses are established by Chapter [3.3](#) – Vehicle and Bicycle Parking, of the Sisters Development Code.

2.12.900 Landscape Area Standards

A minimum of 10 percent of the gross site area of proposed developments shall be landscaped according to Chapter [3.2](#) of the Sisters Development Code.

Ordinance No. 538 – Exhibit B

2.12.1000 Special Standards for Certain UsesA. Neighborhood Market and Laundry Establishment

A neighborhood market ~~and self-serve laundry establishment~~ shall:

1. Be focused on meeting the needs of the Sun Ranch Mixed Use Community residents, workers and guests.
2. Such uses shall not operate past 10:00 p.m.
- ~~3. Structures housing such uses shall be setback from Camp Polk Road and Barclay Drive by at least 50 feet.~~
4. ~~Structures housing s~~Such uses shall not exceed 1000 square feet, excluding storerooms.

B. Retail Sales Establishment

1. Such uses shall not exceed 1000 square feet per lot, excluding storerooms.

~~B. Cottages~~

- ~~1. A maximum of 30 cottage units are permitted in the Sun Ranch Tourist Commercial Zone.~~

C. RV Parks. In addition to the standards of SDC 2.15.1700, the following are applicable to RV Parks in the TC District:

1. Except as provided in ORS 197.493, occupancy will not exceed 30 days in any 90-day period. Occupancy limit does not apply to caretaker's quarters.
2. No more than 65% of the area of the lot or tract on which an RV park is proposed may contain the improvements associated with the use. Improvements shared with other uses of the property or tract (e.g. drive aisles, parking, amenities) will be included in the measurement. The area shall be measured along the outermost perimeter of the improvements associated with the RV Park use.
3. At least two amenities below or similar amenities must be provided prior to opening an RV Park (amenities shall occupy at least 10,000 square feet combined):
 - a. Fishing pond.
 - b. Decks, docks and other areas to enjoy the pond.
 - c. Sport court(s), such as pickleball, bocci ball, basketball, or similar.

Ordinance No. 538 – Exhibit B

- d. Fenced dog park.
- e. Multi-use trails and paths.
- f. Playground.
- g. Small stage.
- h. Fire pits.

D. For purposes of the Sun Ranch Tourist Commercial zone, Lodging Facilities means any building, structure, or improvement used to provide sleeping accommodations to the public for charge with an occupancy not to exceed 30 days in any 90-day period. For the purposes of this definition, improvement includes, but is not limited to, permanently installed recreational vehicles, park model manufactured dwellings, cabins, and similar facilities for transient occupancy.

~~2.12.1100 Design Theme~~

~~A.— All structures proposed within the Sun Ranch Tourist Commercial district shall be consistent with the early 1900's Rural Farm/Ranch House design standards outlined below. Figures 2.12.1100 A and B provide illustrations of examples of architectural styles that are consistent with the theme.~~

~~1.— Era. Rural farm and ranches of the early 1900s.~~

~~2.— Architecture. Buildings shall be designed to emulate rural farm and ranch outbuildings of the era. Such buildings typically have simple gable and shed roof forms, small pane wood windows and wooden doors.~~

~~3.— Exterior Materials. Rough sawn boards and/or board and batten walls, rough stone and brick. Dimensional composition shingle roofs.~~

~~4.— Roof Pitches. A majority of 8:12 pitched main roof forms, with 6:12 and 4:12 sheds.~~

Ordinance No. 538 – Exhibit B

Figure 2.12.1100 A

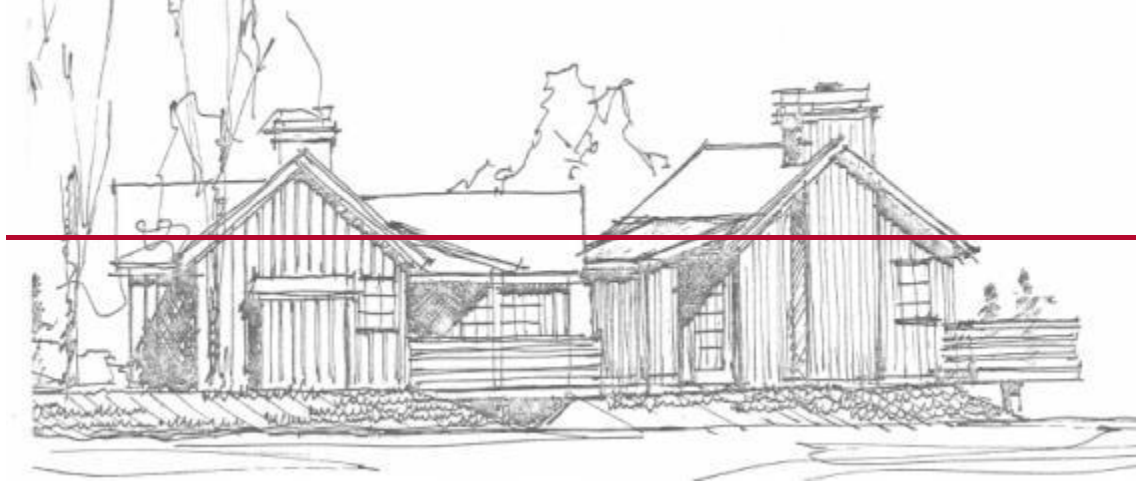


Figure 2.12.1100 B



SUPPLEMENTAL REPORTS & COMMUNICATIONS
CITY COUNCIL REGULAR MEETING
JULY 10, 2024

Supplemental Reports & Communications indicate items received after the Agenda Packet was published or at the meeting.

6. COUNCIL BUSINESS

A. Public Hearing and Consideration of Ordinance 538

1. Tourist Commercial Text Amendments Staff Presentation-Matt Martin
2. Update to 2.12.1000 Excerpt with edits – Matt Martin

TEXT AMENDMENTS

Sisters Development Code

- Chapter 2.12 – Sun Ranch Tourist Commercial District

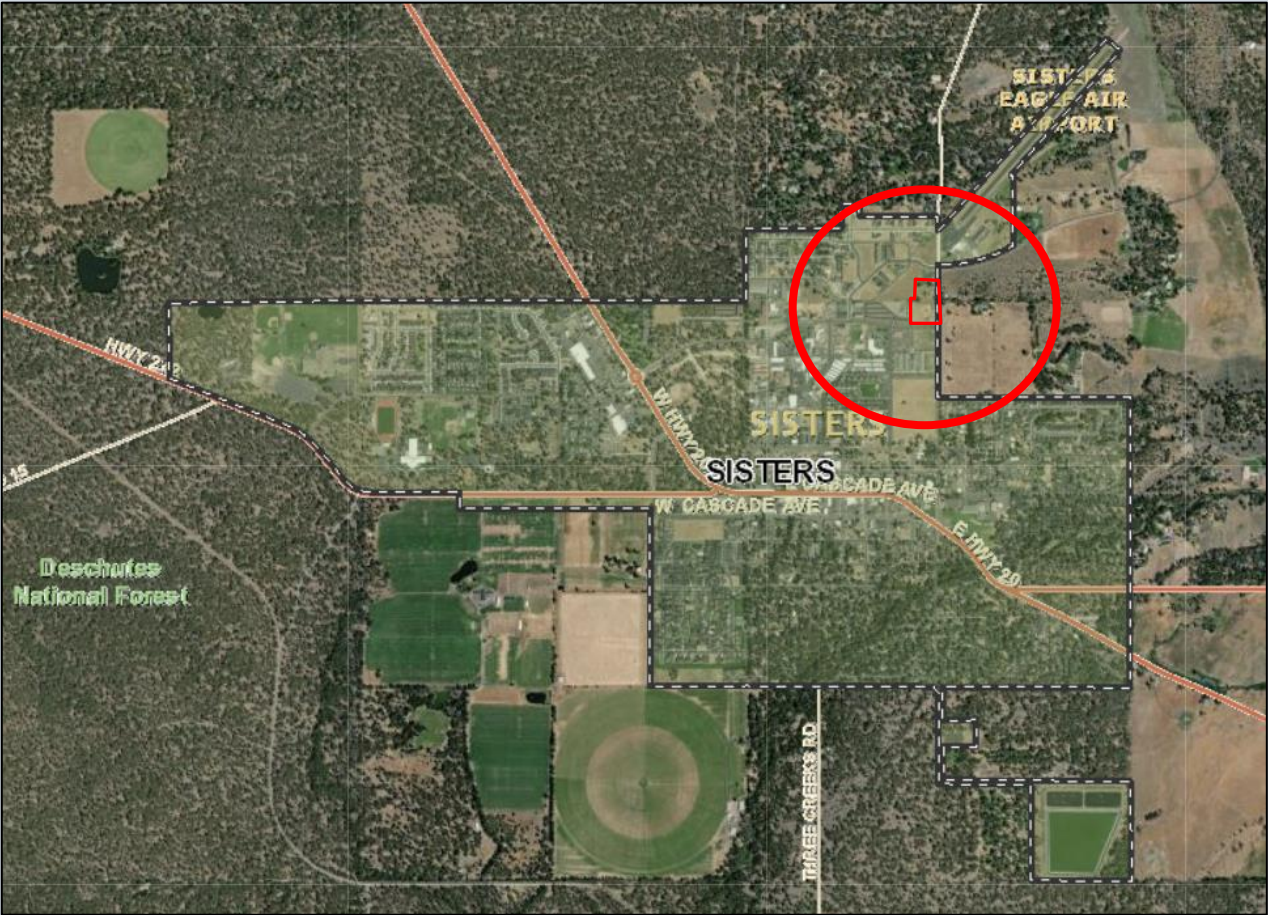
File No.: TA 24-01

Ord. No.: 538

Applicant: Jon Skidmore – Skidmore Consulting, LLC
Ernie Larrabee - Lake House, LLC



LOCATION



LOCATION



PROPERTIES

- The entirety of:
 - **Lot #1:** 69013 Camp Polk Road
- A portion of:
 - **Lot #2:** 575 E. Sun Ranch Drive
 - **Lot #3:** Unaddressed

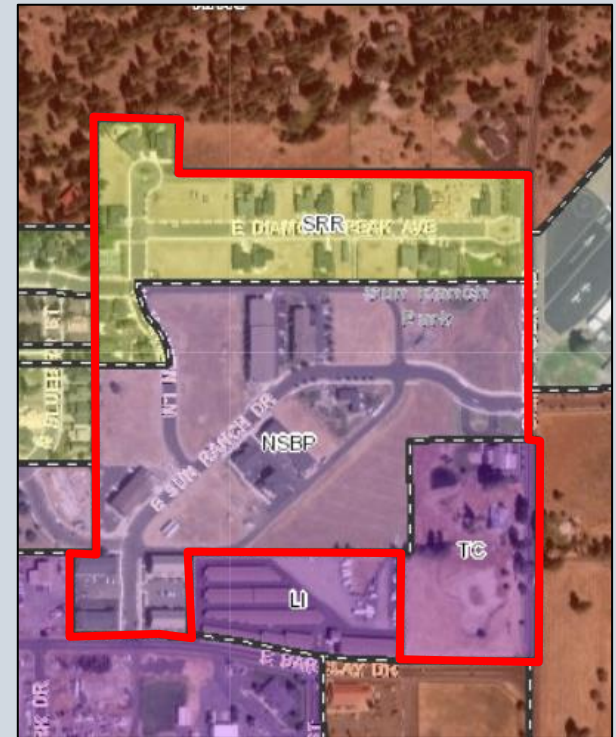
DISTRICT AREA

- +/- 6.2 Acres

DISTRICT HISTORY



- **Ordinances 366/367 adopted April 26, 2007**
- **Created Zone Districts:**
 - Sun Ranch Residential District
 - Sun Ranch Tourist Commercial District
 - North Sisters Business Park



Addendum 2 – May 7, 2024

Chapter 2.12 –
Sun Ranch Tourist Commercial (TC)

Sections:

- 2.12.100 Purpose
- 2.12.200 Applicability
- 2.12.300 Permitted Uses
- 2.12.400 Lot Requirements
- 2.12.500 Height Regulations
- 2.12.600 Setbacks and Buffering
- 2.12.700 Lot Coverage
- 2.12.800 Off-Street Parking
- 2.12.900 Landscape Area Standards
- 2.12.1000 Special Standards for Certain Uses
- ~~2.12.1100 Design Theme~~

2.12.100 Purpose

The purpose of the Sun Ranch Tourist Commercial district is to establish landmark lodging, dining, and recreation destinations and gathering places for business travelers, tourists and the residents of the area. The district is for commercial properties in transition areas between residential, light industrial and commercial areas. This district establishes commercial uses to complement adjacent mixed-use light industrial and residential districts. ~~Special design standards apply to create a rural ranch setting separate from, but compatible with, the 1880s Western Frontier Architectural Design Theme.~~ Another purpose of this district is to provide flexibility for expansion of lodging facilities and improve accessory components of the commercial lodging establishment such as meeting facilities, restaurant, bar, neighborhood market, etc.

2.12.200 Applicability

The standards of the Sun Ranch Tourist Commercial district, as provided for in this section, shall apply to those areas designated Sun Ranch Tourist Commercial district on the City's Zoning Map. All structures within the Sun Ranch Tourist Commercial district shall meet the design requirements contained in the Special/Limited Use Standards in this chapter.

2.12.300 Permitted Uses

A. Permitted uses. Uses permitted in the TC District are listed in Table 2.12.300 with a "P." These uses are allowed if they comply with the development standards and other regulations of this Code. Being

PROPOSAL

- Amendments to Development Code Chapter 2.12 that generally:
 - Expand and clarify the types of uses allowed in the TC District
 - Amend development standards for particular uses
- **NOTE:** No development is proposed with these amendments. Development is subject to separate review process.

SUBSTANTIVE AMENDMENTS

SECTION	PROPOSED CHANGE	STAFF COMMENT
2.12.100 Purpose	Remove reference to rural ranch design standards.	The amendment is warranted to reflect the removal of the 1900s rural ranch design standards.
2.12.300 Permitted Uses	Remove cottages	Would be permitted as “Lodging Facility.”
	Add Retail sales establishment	Includes size limit under special use standards.
	Add Hostel	Specifically defined lodging type of use.
	Add RV Park, including Caretaker’s Quarters	TC District specific special use standards apply along with existing specific use standards for any RV parks (2.15.1700).

SUBSTANTIVE AMENDMENTS

SECTION	PROPOSED CHANGE	STAFF COMMENT
2.12.600 Setbacks and Buffering	Reduce Setback from Barclay Drive/Camp Polk Road from 20 feet to 10 feet	Proposed 10-foot street side setback same as other Commercial Districts.
2.12.1000 Special Standards for Certain Uses	Neighborhood Market <ul style="list-style-type: none"> • Remove reference to Laundry Establishment. • Remove 50-foot setback from Camp Polk Road and Barclay Drive. • Apply 1,000 square foot limit to use, not structures. 	<ul style="list-style-type: none"> • Proposed 10-foot street setback would apply. • Prevents larger scale markets.
	Retail Sales Establishment <ul style="list-style-type: none"> • Apply 1,000 square foot limit to use. 	Prevents larger scale retail uses and multiple smaller tenant spaces.

SUBSTANTIVE AMENDMENTS

SECTION	PROPOSED CHANGE	STAFF COMMENT
2.12.1000 Special Standards for Certain Uses	RV Park <ul style="list-style-type: none"> Maximum stay in an RV space is 30 days in any 90-day period. Maximum of 65% of the gross area of any property in the TC District shall be developed for an RV Park use. At least two amenities shall be provided and occupy at least 10,000 square feet combined. 	<ul style="list-style-type: none"> The proposed special use standards will prevent long-term, residential occupancy of an RV, except for that of a caretaker. The maximum area will limit the overall development footprint on a property. The requirement of amenities will ensure variety use and visual aesthetic within the development beyond RV pads and minimum development standards.
	Lodging Facility Definition <ul style="list-style-type: none"> New special standards section added and includes definition of "Lodging Facility." 	This definition is only applicable to the TC District and is intended to provide for variety and flexibility of overnight accommodation.
2.12.1100 Design Standards	Remove 1900's Rural Farm/Ranch House Design Standards	1880's Western Frontier Design Standards would apply.

REVISIONS SINCE 6/26 WORKSHOP

REVISED CODE SECTION	STAFF REVISION	EXPLANATION OF REVISION
2.12.1000(C)(1) RV Park Limit on Length of Stay	Adds reference to ORS 197.493.	Identifies the potential applicability of ORS 197.493 which prohibits the city from imposing any limit on the length of occupancy of an RV located in an RV Park and connected to water, electrical, and sewage disposal system.
2.12.1000(C)(2) RV Park Area Limit	Adds detail for how the 65% maximum area limit is measured.	Provides specificity of where the area is measured from and what elements of the RV Park use are included.

REVISIONS SINCE 6/26 WORKSHOP

REVISED CODE SECTION	STAFF REVISION	EXPLANATION OF REVISION
2.12.1000(C)(3) RV Park Required Amenities	Edits wording and added requirement that amenities are provided prior to opening an RV Park.	Changes phrasing to improve readability. Addition of specifying when the amenities are completed ensures they are installed prior to operation.
2.12.1000(D) Definition of Lodging Facility	Adds duration of stay limit , adds reference to “transient occupancy,” and change reference to “park model recreational vehicle” to “park model manufactured dwellings.”	Duration of stay limit added for consistency with the proposed limit of stay in an RV Park in the TC District. Changes also clarify that a lodging facility is intended for transient, limited duration occupancy. In addition, the terminology for park model units is modified for accuracy.

PUBLIC ENGAGEMENT

PUBLIC MEETINGS

Applicant Neighborhood
Planning Commission (4)
City Council (2)

PUBLIC NOTICES

Published - The Nugget
Mailed – Owner/Participants
Posted – City Hall/Post Office

PUBLIC PARTICIPATION

35+ Comments Submitted

MEDIA COVERAGE

The Nugget (6)
Sisters Round Up Newsletter (2)



PLANNING COMMISSION RECOMMENDATION

APRIL 18 & MAY 16, 2024 – PLANNING COMMISSION PUBLIC HEARING

- Between hearing dates, the applicant coordinated with staff and revised the proposal based on comments received.
- **Planning Commission recommended approval via 4-2 vote**



NEXT STEPS

At the conclusion of the testimony, the City Council can consider the following options:

1. Continue the hearing to a date certain;
2. Close the hearing and leave the written record open to a date certain;
3. Close the hearing and set a date for deliberations; or
4. Close the hearing and commence deliberations



QUESTIONS?

MATTHEW MARTIN, AICP

Principal Planner

mmartin@ci.sisters.or.us

541-323-5208

PROJECT WEBPAGE

City of Sisters Community Development → Land Use Planning Spotlight → Text Amendments – Sun Ranch Tourist Commercial District

<https://www.ci.sisters.or.us/community-development/page/text-amendments-sun-ranch-tourist-commercial-district-%C2%A0>



SDC 2.12.1000

...

C. RV Parks. In addition to the standards of SDC 2.15.1700, the following are applicable to RV Parks in the TC District:

1. ~~Except as provided in ORS 197.493, occupancy will not exceed 30 days in any 90-day period. Occupancy limit does not apply to caretaker's quarters.~~
2. No more than 65% of the area of the lot or tract on which an RV park is proposed may contain the improvements associated with the use. Improvements shared with other uses of the property or tract (e.g. drive aisles, parking, amenities) **shall not will** be included in the measurement. The area shall be measured along the outermost perimeter of the improvements associated with the RV Park use.
3. At least two amenities below or similar amenities must be provided prior to opening an RV Park (amenities shall occupy at least 10,000 square feet combined):
 - a. Fishing pond.
 - b. Decks, docks and other areas to enjoy the pond.
 - c. Sport court(s), such as pickleball, bocci ball, basketball, or similar.
 - d. Fenced dog park.
 - e. Multi-use trails and paths.
 - f. Playground.
 - g. Small stage.
 - h. Fire pits.

D. For purposes of the Sun Ranch Tourist Commercial zone, Lodging Facilities means any building, structure, or improvement used to provide **temporary** sleeping accommodations to the public for charge ~~with an occupancy not to exceed 30 days in any 90-day period.~~ For the purposes of this definition, improvement includes, but is not limited to, permanently installed recreational vehicles, ~~park model manufactured dwellings~~, cabins, and similar facilities for ~~transient~~ **temporary** occupancy.



CITY COUNCIL Staff Report

Meeting Date: July 10, 2024
Type: Regular Meeting

Staff: Paul Bertagna
Depts: Public Works

Subject: Contract for the 2024 McKinney Butte Safety Improvements

Action Requested: Discussion and Consideration of a Motion to Award a Construction Contract for the 2024 McKinney Butte Safety Improvements.

Background:

Bids for this project are due by 2 p.m. on July 9. Materials will be added to the packet on Wednesday, July 10 for review.

Financial Impact: Estimated cost of improvements is \$230,000.

Attachments: None.